# SOUTHERN ARCHITECT



PUBLISHED BY THE NORTH CAROLINA CHAPTER AMERICAN INSTITUTE OF ARCHITECTS

**DECEMBER 1963** 





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#### 50TH ANNUAL NCAIA MEETING Queen Charlotte Hotel, Charlotte JANUARY 23, 24, 25

Cover photo: Asheville Bookstore, Charles Sappenfield, AIA, Architect Edward L. DuPuy, Photographer

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# SUPERIOR SEATING ...serves function with dignity

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# THE NORTH CAROLINA CONCRETE MASONRY ASSOCIATION

#### PRESIDEN'I'S MESSAGE



Arthur C. Jenkins, Jr.

And Low or meaning reacted Lower degree, he later emined h Munter of Architecture dugree fro Mult.T. He is also the recipient of more than 60 national and too avants. He played an active pe ht the Conta-City renals area Philadelphia, and the class of recognized from the later of too dentheory back from the later of too denmean of architecturic states.

MENRY A. MILLOH is Assistant Professor of History of Architecture and Architectural Design, Massa chusetts Institute of Technology, H holds B.A., B.S. and B. Arch. degrees from Talane University, A.M (History of Art) and Master Arch degrees from Harvard University and from Harvard in March 1964. Mr from Harvard in March 1964. Mr Millon has held a number of fellow States and lectureships in the United States and abroad. He is also the

SSHW

The North Carolina Chapter of The American Institute of Architects was shocked and deeply saddened by the death of its President, Arthur C. Jenkins, Jr., on Tuesday, December 10th. Mr. Jenkins had been a patient at Duke Hospital for several weeks and had undergone surgery on Friday preceding his death.  $\cap$ 

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Under his able leadership as President since June 1962, the Chapter had undertaken a number of worthwhile projects the establishment of an architectural foundation, the acquisition of a headquarters building and other significant professional programs.

Arthur C. Jenkins, Jr. was born in Plainsville, Pennsylvania, forty-five years ago, attended schools in Pennsylvania, graduating with a degree in architecture in 1947 from Pennsylvania State College. From 1940 to 1946 he served on active duty in the U.S. Army and was in the active reserves from 1946 until his death. He established his own architectural firm in Fayetteville, N. C. in 1952, engaging in a varied practice including the design of important elementary and high school facilities, industrial buildings, residences and a medical arts center. In association with Basil G. F. Laslett, AIA, he had most recently completed the design for the new Federal Building to be erected in Fayetteville.

The North Carolina Chapter extends its deepest sympathy to his family in their loss.

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and a



DOUGLAS HASKELL, FAIA, Editor of Architectural FORUM, has been engaged in architectural journalism since 1925. He is a Fellow of the American Institute of Architects, has an Honorary Doctor of Fine Arts degree from Oberlin College, holds a number of journalistic awards, and has served in an advisory capacity to government housing and planning agencies (including the present Pennsylvania Avenue Advisory Council), FORUM under his editorship has paid special attention to problems of urban redevelopment and urban design.

JURORS: TENTH ANNUAL NORTH CAROLINA HONOR AWARDS



VINCENT G. KLING, FAIA, has practiced architecture in Philadelphia since 1946. His present staff numbers 120 and the value of projects executed by his office exceeds \$250,000,000. A winner of seven of the ten awards offered to students in the Columbia School of Architecture where he received a B. Arch. degree, he later earned his Master of Architecture degree from M.I.T. He is also the recipient of more than 80 national and local awards. He played an active part in the Center-City renaissance of Philadelphia. Mr. Kling has been recognized for his contribution to design standards and the advancement of architectural standards throughout the United States.

EXHIBITIONS COMMITTEE - CHARLES M. SAPPENFIELD, AIA, CHAIRMAN



HENRY A. MILLON is Assistant Professor of History of Architecture and Architectural Design, Massachusetts Institute of Technology. He holds B.A., B.S. and B. Arch. degrees from Tulane University, A.M. (History of Art) and Master Arch. degrees from Harvard University and is a candidate for a Ph.D. degree from Harvard in March 1964. Mr. Millon has held a number of fellowships and lectureships in the United States and abroad. He is also the author of many published articles on architectural history in Italy and America.

#### ELIGIBILITY

Each entry shall show a building or a group of related buildings designed by a registered architect who is practicing professionally in North Carolina and who is a member of the North Carolina Chapter of the American Institute of Architects. Also entries may be submitted of buildings constructed in North Carolina which were designed by architects who are corporate members of the American Institute of Architects residing elsewhere in the United States. All entries must have been completed since January 1, 1953. Buildings which have previously received Chapter, Regional or National AIA awards will not be eligible for Chapter competition.

THE NORTH CAROLINA CHAP-TER OF THE AMERICAN INSTI-TUTE OF ARCHITECTS DESIRES TO ENCOURAGE THE APPRECI-ATION OF EXCELLENCE IN AR-CHITECTS AND TO AFFORD RECOGNITION OF EXCEPTION-AL MERIT IN BUILDINGS COM-PLETED SINCE JANUARY 1, 1953, JUDGMENT FOR AWARDS WILL THEREFORE BE HELD IN CONJUNCTION WITH THE CHAPTER'S WINTER MEETING, JANUARY 23, 24, 25, 1964 AT CHARLOTTE. ENTRIES ARE INVITED.





#### PREVIEW:

a group of related buildings designed by a

BNITEEM JAUNNA HTOE Catalina and who is NORTH CAROLINA CHAPTER THE AMERICAN INSTITUTE OF ARCHITECTS

etutitari norican Augure CHARLOTTE HOTEL, CHARLOTTE, N. C. JANUARY 23, 24, 25, 1964

Il entries must have

Chapter com-

CHARLOTTE SECTION OF THE NORTH CAROLINA CHAPTER THE AMERICAN INSTITUTE OF ARCHITECTS

#### THEME:

HOSTS:

"CRITICISM AND RESPONSE:"

consoleted times January 1, 1953. Duildings which have previously received

AS IT RELATES TO THE ARCHITECT, HIS CLIENT AND THE PUBLIC, AS SPECTATOR; THE MOST IMPORTANT FORCES AFFECTING SIGNIFICANT ARCHITECTURE AND URBAN DEVELOPMENT.

GENERALLY SPEAKING, THE PROFESSION HERE, AS ELSEWHERE, IS EQUIPPED TO PRODUCE MORE IMPORTANT WORK THAN IS NOW IN PRODUCTION. IF IT FAILS TO DO SO, MIGHT IT NOT BE DUE TO A LACK OF CRITICISM AND RESPONSE FROM THOSE FOR WHOM THE WORK IS BEING PRODUCED?

SCHEDULED TO DEVELOP THIS TOPIC IS A DISTINGUISHED PANEL OF SPEAKERS:

Douglas Haskell, FAIA, Editor of Architectural Forum Vincent Kling, FAIA, practicing architect of Philadelphia Henry A. Millon, Assistant Professor (History of Architecture and Architectural Design) Massachusetts Institute of Technology

AND

NA BOHOR AWARDS PROGRAM

Jim Lucas, Director, Public Relations Herman Miller, Inc., Zeeland, Michigan



#### FROM THE INSTITUTE:



J. Roy Carroll, FAIA, President The American Institute of Architects Philadelphia, Pennsylvania



Arthur Gould Odell, Jr., FAIA First Vice-President The American Institute of Architects Charlotte, North Carolina



W. E. Freeman, Jr., AIA Director, South Atlantic Region The American Institute of Architects Greenville, South Carolina

The Charlotte Section, under the direction of Beverly Freeman, A!A, President, and Paul Braswell, AIA, Chairman of convention arrangements, has been hard at work developing a worthwhile and informative program to present at the winter meeting. Let's all support their efforts by being there:

JANUARY 23, 24, 25, QUEEN CHARLOTTE HOTEL, CHARLOTTE, N. C.



FLOOR PLAN







SECTION

#### REMODELING FOR THE ASHEVILLE BOOKSTORE

owner:

#### MR. & MRS. MATTHEW GILBERT

architect:

#### CHARLES M. SAPPENFIELD, AIA

The Asheville Bookstore is widely known as one of the South's best bookstores for its wide selection—30,000 volumes —and its art books department. The main floor is devoted to general books and art books; and the lower floor comprises over 15,000 paperbacks. When forced to move to a new location, the Bookstore's owners, Matt and Dorothy Gilbert, requested a modern building but similar in character to their previous location: stained wood, shuttered doors, a bay window for exhibition and a built-in seat, a brown awning, and a color scheme related to their brown-paper-gold-ribbon packaging. The building to be remodeled was an out-of-date jewelry store of black structural glass and high display windows set within the opening of the typical commercial building.

The design solution involved a facade design with a new entrance for offices upstairs, a new stairway to the lower floor, and re-using existing book cases and display tables.

The facade consists of: existing dark beige brick; walnut panelling; gold anodized aluminum mullions; glass windows and door; gold lettering; gold suspended lights; and a Vermont slate floor. The brown canvas canopy is suspended from a steel pipe framework. The entrance to the upstairs office becomes a part of the walnut panelling to the right of the show window.

A free-standing walnut window display case is combined with a seat containing black leather cushions. Back-lighted signs in the display case put the name of the store down at windowshoppers level.

The stairway to the lower level consists of cantilevered steel channel treads on a single steel stringer. Steel pickets support a laminated walnut railing.

With new location, expanded sales space, and increased Asheville business potential, sales have risen 25%. Construction costs were approximately \$14,000. contractor: A. J. Durner and Sons

photographs: Edward L. Dupuy





REMODELED FLOOR PLAN





AFTER

#### REMODELING FOR ALLANSTAND CRAFT SHOP

#### owner:

SOUTHERN HIGHLANDS HANDICRAFT GUILD

#### architect:

#### CHARLES M. SAPPENFIELD, AIA



THE DECEMBER 1963 SOUTHERN ARCHITECT

contractor: J. Hilliard Ward

photographs: Edward L. Dupuy

The Allanstand, an old Asheville landmark since 1895, is the major shop of the Southern Highland Handicraft Guild. The shop programmed a major face lifting, enlarged display and storage area, a small room for changing monthly exhibitions, and air conditioning. Total costs were budgeted at less than \$10,000.

The existing metal ceiling was painted black, a suspended wood grille was installed, and bare floodlights were concealed above this grid as the only lighting. New flexible shelving was installed. Air conditioning, a new flooring, and a new aluminum entry completed the work.

Southern Appalachian Hardwoods were used in the decorative screen at the rear of the shop, in the suspended sign which announces the "Guild Gallery", and in the new sign over the entrance.

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#### SECOND FLOOR PLAN

The Raleigh Furniture Company wished to have an existing building (50 years old) remodeled in order to provide facilities for retail merchandising of furniture. The building was originally designed for an automobile showroom with a parking garage above and in recent years had been used as an Army induction center. Additional design requirements called for two first floor rental spaces and a family recreational center for the second floor. The recreational center is comprised of a billiard area, 12 bowling lanes, restaurant, tavern and kitchen facilities. The concept of promoting family participation in activities such as billiards is relatively new and is reflected in the furnishings and general appearance of the recreational facilities. Billiard tables are covered in turquoise and gold felt while the entire billiard area is carpeted, creating a far departure from the generally accepted concept of the traditional "pool hall". Prefinished plywood has been used throughout for wall finishes.

#### BEFORE





#### owner:

RALEIGH FURNITURE COMPANY raleigh

architects:

JAMES M. EDWARDS, JR., AIA WILLIAM C. MCGEE, JR., AIA, ASSOC. raleigh

general contractor: Clancy & Theys Construction Company raleigh

#### engineers:

T. C. Powell, Jr., Heating & Air Conditioning Amin & Owen, Electrical & Plumbing raleigh



AFTER





#### AN ANTIQUE BUILDING CODE



VORSTEHER HOUSE — 1797

(Moravian Archives Building)

#### Foreword by Luther Lashmit, AIA

The historic Salem community of Winston-Salem was founded in 1766 by the Moravians, a protestant sect whose homeland was Moravia, in northern Europe. Moravia is now a part of modern Czechoslovakia. Having settled in Pennsylvania early in the eighteenth century the Moravians purchased a 100,000 acre tract in North Carolina in 1753 and started a new settlement there that year. They called their North Carolina land Wachovia to renew the memory of a pleasant place of like name which they had known in Europe. Salem, meaning 'peace," was planned as the central town of Wachovia. It was eleven years after the first settlement in Wachovia that the site for Salem was finally selected and construction started, and it was 22 years after the founding of Salem that official building regulations were adopted. These regulations have been translated from the German text of an appendix to the minutes of the Aufseher Collegium (Town Council) dated June 1788. Bv 1788 some twenty buildings had been constructed in Salem. That matters had not gotten too far out of hand was due to the close control which the Moravians held over the spiritual and material affairs of their community. The material affairs were controlled by the Community Conference to which every member of the community belonged. The Community Council elected the Town Council which in turn appointed a salaried Town Warden.

Complaints of molestation in the community, the increase of "outsiders", and the availability of outside builders were factors which prompted the adcption of building regulations. It is interesting to note that the basic problems of fire hazards, filing of plans and enforcement in Salem 175 years ago foreshadow the complex building codes of today.

#### **BUILDING REGULATIONS, SALEM, JUNE 1788**

We are not going to discuss here the rules of the art of building as a whole but only those rules which relate to the order and way of building in our community. It often happens due to illconsidered planning that neighbors are molested and sometimes even the whole community suffers. For such reasons in well-ordered communities rules have been set up. Therefore our brotherly equality and the faithfulness which we have expressed for each other necessitates that we agree to some rules and regulations which shall be basic for all construction in our community so that no one suffers damage or loss because of careless construction by his neighbor and it is a special duty of the Town Council to enforce such rules and regulations.

To accomplish our purpose fire inspection has to be included besides which the supervisors, the warden, and all masters in the building trades are responsible.

It shall not be left to those who want to build a house or a shed or a barn, but we expect each building master to take special care of the matters concerning his trade and advise his client of the regulations. It is also expected that the masters shall report to the Council and to his client all objections and thoughts which they may have to his plans because changes during construction often can only be made with much loss. If the client orders something done contrary to the building regulations, the master builder shall report it at once to the Council.

In the future all master builders shall uphold the rules of the Council and act in accordance with them whenever they build a new structure or only make repairs and the community will hold them responsible if through their negligence some damage occurs. On the other hand the brotherly equality assures that the masters shall be employed primarily and that no other persons can usurp their place. Otherwise many wrong methods of building may be introduced and many things that are fire-hazards may not be known. Therefore it will be mandatory in case of repairs due to an emergency when a journeyman has to work alone that he is assigned nis work by a master only. If anyone wants to employ a master from outside the community the Council must be notified and it must be ascertained that the master intends to work according to the rules and regulations.

It can happen that a main or rear building is closed in by outside trades people before we can inspect it to see that they build in the proper flues so that no cracks appear in the chimneys in the course of time because here in Salem we use brick for chimneys to save space whereas the outsiders are more accustomed to using fieldstone which can safely bear more weight.

Now since the community ordinances, policy and building regulations are not meant to be a burden but an advantage as to comfort and security it is our sincere hope that all the Brothers and Sisters who intend to build or repair a house will follow these rules. Therefore it is ordered:

1. Anyone who wants permission to build a house here in Salem shall apply to the Town Council. He must prove to the Council that, not counting the money which he needs to continue his profession and his livelihood, he has at least partial funds for such construction and a probable way of acquiring the rest in order to pay off. This is necessary because if a house has to be sold it is never sold for the entire construction cost particularly when the next owner is not too dependable in handling his affairs or if he needs more family comforts.

2. The applicant must tell us about the lot he would like to build on and he should turn in a plan showing how he thinks he is going to divide up the house, what material he is going to build it of — whether wood frame, stone or brick — and how much he thinks it will cost.

In consideration of the whole aspect of the community we have to see to it that the worst houses are not built on the best lots. The same consideration has to be taken with respect to fire hazards and noisy, disease-spreading or odor-making businesses. Wood sheds or little huts do not belong on the main street unless they have an orderly appearance.

The unevenness of the streets and walks shall be corrected as the situation of the community permits and must be taken into consideration with every house that is built.

Natural surface drainage must not be changed through the construction of a new house. Front door steps and cellar ways must not extend out too far and obstruct the sidewalks.

If the construction application is approved the lot will be surveyed by the appointed Brother and a lease for the land written out.

3. No one may extend his construction onto the street beyond the lot assigned to him because not only the road but also the sidewalks are there for public use and no owner of a lot may do whatever he chooses with it. If he wants to have more steps than just the one or two which everybody may have this must be investigated by the Town Council. The ordinary space for the sidewalk shall remain as settled at eight teet from house to hitching post. Each owner must take care of the sidewalk in tront of his house to the extent of his lot width. The road will be kept in order by the community working together.

No trees may be planted in the sidewalks. If an owner wants a porch or fence in front of his house the house must be set back for the appropriate space as was done at the Tavern.

4. Regarding housing standards we wish that no other but simple houses be built here in Salem because costly houses are hard to sell at true value. The division of the house shall be orderly and without dark corners or uncomfortably steep staircases. No trap doors shall be built in. It is important that the necessary fire-proofing be provided and we emphasize that it is basic that there be a separation of tireplaces and combustible material, particularly where heat is intense as in pottery stoves and in metal forges where sparks are leaping around. Forges should be covered with roof tiles instead of shingles and fuel sheds should be at a distance from torges because sparks are always flying and in our neighborhood some forges have aiready burnt up.

We think it is self-evident that no wooden chimneys shall be built here. However for fire prevention the following main points must be considered:

a) Chimneys should have good foundations and not just be placed on logs; be well bonded and built of brick at least 4 inches thick; be parged inside and outside; rise to a sufficient height above the roof; have no beams going through them; nor have beams too close to them in such a way that the heavy load on them will cause the chimney to crack and settle as can happen easily at flues.

The chimneys must be wide enough to be swept which means ordinarily 14 to 18 inches; under the back hearth no planks shall be laid within 18 inches, or for big fires 2 feet; between flues appropriate wythes shall be provided; front hearths at fireplaces and stoves in kitchen and rooms and in every place where a fire is kept an adequate space must be laid with brick, not less than 2 feet wide in rooms. In kitchens and laundries they should be wider in proportion with our preference being that the entire floor be paved with stone or brick.

b) No stove pipes shall be too near to beams; no stoves too near to plank walls; and no stove pipes shall lead through the floor in the upper story or through wooden partitions. If exceptions seem necessary the Council must be notified so that we can inspect the place and maybe help in some way.

c) No baking stoves, drying houses, smokehouses, whether in the house or outside, or laundry kettles not connected with the chimney can be built except with the permission of the Council which makes the following rules:

(Continued on page 18)

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#### AN ANTIQUE BUILDING CODE-Cont'd.

In front of bake ovens there must be an ash pit for deposit of live ashes to prevent them being strewn about or blown away by the wind. The riue must not be near anything combustible. Free standing bake ovens shall not be permitted except in extreme emergency in which case they shall have a shelter in tront so that the coals are not exposed to the wind. It a bake oven is attached to another building it must not have a wooden foundation because it deteriorates and increases the fire hazard. Bake ovens can be installed in the basements but only if arrangements have been included in the original plans for the house.

Drying houses should never be built to necessitate a large tire inside it or a free fire outside.

Smokehouses in dwellings cannot be approved unless one could be built so that if the chimney should catch on fire the smoke chamber itself would not burn and place the house and the whole community in great danger.

Laundry kettles and plate stoves shall be built so that if the fire comes out the front, as it usually does because we use long sticks of wood, it does no harm and if the small chimney for such a stove or kettle catches on fire nothing else happens.

The vent pipes for baking and melting ovens must not lead across the mantel of a stove or fireplace unless they are far enough away from the mantel.

d) Containers for ashes must be made of brick and not framed up in wood.

Now since the carrying out of these rules falls mainly upon the trade masters, their especial attention is called to them and their reputation in the community will be served if they abide by them.

5. Since it often happens that houses are sold it is necessary that their planning and arrangement are suitable for most families so that no disadvantages may arise as regards a buyer or the price of sale.

6. Minor or rear buildings often make the yard smaller or for practical purposes almost unusable. Therefore it is required that there be a plan for these buildings so that the possibility of a major change is not handicapped by constant adding of sheds. Necessaries and pig stalls shall be located with the best consideration and care so that they do not molest the neighbor. For the necessaries a deep hole must be made because the ill odors derive mainly from exposure to the sun.

7. Brothers who want to build must hold to the wage rates fixed in the community if they employ outside workers. They shall not pay higher rates except in an emergency.

8. Mistakes that are made during construction are often costly to correct and often also such mistakes become a hazard or blight for the whole community. For that reason all parties will do well to uphold the rules and they shall not get negligent or careless in submitting their plans to the Council and making all inquiries necessary. We know from experience that most mistakes are simply due to the fact that no plans were made right at the beginning so that things come up which nobody had thought about at the start. In such cases no

#### THE DECEMBER 1963 SOUTHERN ARCHITECT

changes can be made because nobody had the whole matter together before his eyes in order to give advice.

9. In addition to security from fire it is necessary to regulate storm drainage in the street in accordance with Regulation No. 2 so that water can drain freely without damaging streets, cellars or gardens. Nobody shall have permission to discharge his roof gutter into another yard or divert more drainage to the neighbor than the existing natural flow. Drainage that gathers in the street shall remain in the street and not run through the lots. Where, however, such arrangement has been made from the beginning of the community, we shall have to see what can be done.

10. Since experience has taught us that so many complaints and quarrels and damage can arise from access between lots, so that often one cannot enjoy his own piece of land and work on it, it is mandatory that henceforth every lot must be completely fenced in. No gates or openings shall be left for communication except with the knowledge and permission of the community government. A house that is placed near the side line of a lot shall not have any windows that look into the neighbor's yard and in general all gable windows shall be well considered as to whether they are necessary, so that the aforementioned molesting can be avoided.

For the lower floor there is not too much objection because of the fences, and in kitchens and service porches only high windows can be used anyway. However, a common rule cannot be fixed and decisions must be made from one case to the next. There are no objections at all to windows facing the street. The people will have to take care of peeping neighbors in the usual way.

11. During construction scaffolds must be securely built. They must be strong and nailed up with enough planks. No small planks shall be used that slide easily from their place. In this matter the Brothers shall not try to be too sparing so that they do not have the responsibility of an accident and guilt before the Lord. The trade masters of all the professions must have a special eye on that.

In case a Brother finds that because of stupidity, neglect or intention somebody is working against these regulations it is his responsibility to report such action to the proper authority. All of those who have been appointed for fire inspection shall be responsible for just that simple duty during the construction of each building.

The above building regulations were examined very carefully and after long consideration of each point were approved by the Community Conference before the whole Town Council with all house fathers and trade masters present. All of this was worked out in two sessions. Thus it was ordered in Salem in the month of June 1788. END—



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#### NEW RECOMMENDED MINIMUM FEE SCHEDULE ADOPTED BY NCAIA

On the following pages is a recommended minimum fee schedule adopted by the Chapter, effective January 1, 1964. The Chapter has found it necessary to endorse a change in recommended minimum fees due to the increasing complexity of construction and the wider range of services required.

#### **GROUPED PROJECTS**

Generally speaking, the rate schedule applies to individual structurally disconnected buildings. Grouped projects shall be considered in their component parts; however, several buildings may be considered as one project and the fee rate set accordingly if all of the following four conditions are met.

- 1. All of the buildings are to have the same set of specifications.
- 2. All of the buildings are to be built simultaneously under one contract. This provision does not exclude the possibility of separate contracts for mechanical, plumbing, electrical, etc.
- 3. All of the buildings are to be built on the same site.
- 4. All of the buildings are to be of the same type by function.
- (a) A grade school meeting the first three conditions is figured as one project even though it contains a cafeteria, an auditorium and/or a gymnasium.
- (b) A church plant meeting the first three conditions is figured as one project even though it contains a sanctuary, a fellowship hall, a chapel and/or religious education classrooms.
- (c) All college buildings are figured as separate projects.
- (d) A building remodeling project done in connection with a new building project should be figured as a separate project.



#### AGREEMENT BETWEEN OWNER AND ARCHITECT

The Standard Form of Agreement between the Owner and Architect, as presented in AIA Document No. B-131, 1961 edition, is the most equitable agreement to use and has been adopted by the Chapter as their preference for all types of work with the single exception that the architect will furnish 20 sets of plans and specifications. The provisions of this contract pertaining to full-time project representatives shall apply in all cases.

#### RECOMMENDED MINIMUM PERCENTAGE FEES

BUILDING CLASSIFICATIONS BY CATEGORIES

Project Cost		fanday Sehre Navalarada Jur	А	В	С	D	nches d <b>B</b> ex In
50,000 or	less		8.5	8.0	7.5	7.0	6.5
75,000		Simple Maxwill Simple Period	8.4	7.9	7.4	6.9	6.4
100,000		, a sisteman (	8.3	7.8	7.3	6.8	6.3
125,000	11	Caregory N	8.2	7.7	7.2	6.7	6.2
150,000	"	Giutegel Simo Bulkling	8.1	7.6	7.1	6.6	6.1
175,000			8.0	7.5	7.0	6.5	6.0
200,000	11		7.9	7.4	6.9	6.4	5.9
250,000	11		7.8	7.3	6.8	6.3	5.8
300,000			7.7	7.2	6.7	6.2	5.7
350,000	11		7.6	7.1	6.6	6.1	5.6
400,000	//		7.5	7.0	6.5	6.0	5.5
450,000	"		7.4	6.9	6.4	5.9	5.4
500,000	"		7.3	6.8	6.3	5.8	5.3
550,000	11		7.2	6.7	6.2	5.7	5.2
600,000	"		7.1	6.6	6.1	5.6	5.1
700,000	<i>u</i>		7.0	6.5	6.0	5.5	5.0
800,000	11		6.9	6.4	5.9	5.4	4.9
900,000	//		6.8	6.3	5.8	5.3	4.8
1,000,000	7 <b>11</b>	m na Alexandri -	6.7	6.2	5.7	5.2	4.7
1,100,000	11		6.6	6.1	5.6	5.1	4.6
1,200,000	11		5.6	6.0	5.5	5.0	4.5
1,400,000	11		6.4	5.9	5.4	4.9	4.4
1,600,000	<i>11</i>		6.3	5.8	5.3	4.8	4.3
1,800,000	11		6.2	5.7	5.2	4.7	4.2
2,000,000	11		6.1	5.6	5.1	4.6	4.1
Over 2,000,00	00		6.0	5.5	5.0	4.5	4.0

THE DECEMBER 1963 SOUTHERN ARCHITECT

#### BUILDING CLASSIFICATIONS

#### Category "A"

#### **General Hospitals**

#### Category "B"

Restaurants and Dining Halls Student Unions Scientific Laboratories Theaters and Auditoriums Arenas and Coliseums **Complex Recreation Centers** Banks Churches Complex Individual Stores and /or Shops Hotels and Motels Municipal Buildings Civic Buildings Post Offices Museums and Art Galieries YMCA's and YWCA's High-Rise Apartments Broadcast Facilities Doctors' Clinics Air, Rail or Bus Terminals Bakeries

#### Category "C"

**Elementary Schools** Junior and Senior High Schools College Classroom Buildings Dormitories Libraries Gymnasiums Office Buildinas **Custodial Hospitals** Automobile Showrooms Walk-up Type Apartments Department Stores **Complex Manufacturing Plants** Shopping Centers Simple Recreation Buildings Sunday School Buildings Simple Individual Stores and /or Shops

#### Category "D"

Simple Manufacturing Plants Simple Processing Plants Laundries

#### Category "E"

Warehouses Garages Farm Buildings

NOTE: Residences and Alterations to Existing Buildings are subject to higher rates up to 15% consistent with their special character.

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# DESIGN FOUNDATION NEWS

The main function of the Design Foundation is to provide funds for salary supplement purposes at the N. C. State College School of Design. These funds materially aid the School in attracting and holding high-caliber faculty members and to remain competitive with other institutions. The Architectural

INDUSTRIAL AND BUSINESS CONTRIBUTORS (1962-63) TO THE NORTH CAROLINA DESIGN FOUNDATION, INC.

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Borden Brick & Tile Company

(See our ad on back cover)

(See our ad on page 23)

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#### **ELEVATORS**

Southern Elevator Company (See our ad on page 22)

#### FURNITURE, CHURCH

Southern Desk Company (See our ad on page 4)

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#### **BUILDER'S HARDWARE**

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Salisbury Lumber & Supply Company (See our ad on page 26)

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Portland Cement Association (See our ad on page 24)

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### CALENDAR OF EVENTS

JANUARY 7, 14, 21: Architect's Guild of High Point, Marguerite's Restaurant George C. Connor, Jr., AIA, President

JANUARY 8: Durham Council of Architects, Harvev's Kenneth M. Scott, AIA, President

JANUARY 8: Charlotte Section of N. C. Chapter, AIA, Stork Restaurant No. 2 Charles H. Wheatley, AIA, President

JANUARY 9: Raleigh Council of Architects Y.M.C.A. Jesse M. Page, Jr., AIA, President

JANUARY 15: Deadline for material for February issue

JANUARY 17: Greensboro Registered Architects, Maplehouse Restaurant Thomas P. Heritage, AIA, President

JANUARY 21: Winston-Salem Council of Architects **Reynolds Building Restaurant** J. Aubrey Kirby, AIA, President

JANUARY 23: NCAIA Executive Committee Meeting, NCAIA Committee Meetings, Queen Charlotte Hotel, Charlotte

JANUARY 23, 24, 25, 1964 NCAIA 50th Annual Meeting Queen Charlotte Hotel CHARLOTTE



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