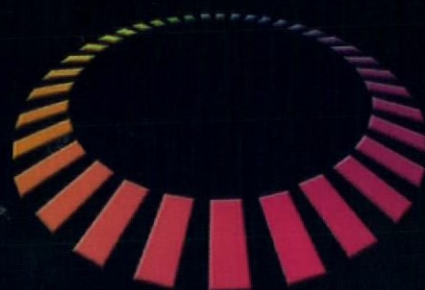
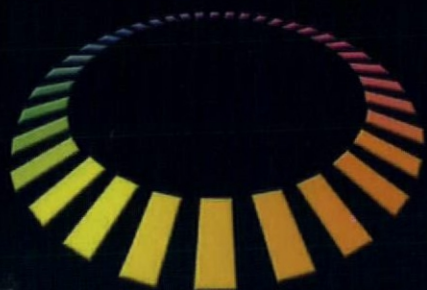
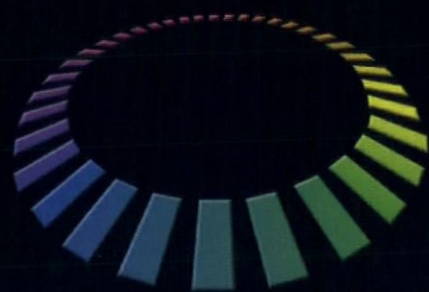


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This Grade II*-listed building in
Bridgwater – known as the AKA
Castle House – is set to feature in
the latest series of the BBC's
Restoration. SAVE Britain's Heritage,
which bought the 1852 building for
just £1 last year, is set to campaign
for its renovation. SAVE director
Adam Wilkinson argues that it
should win the public vote due to
its pivotal role in the development
of the use of concrete in
construction and because of its
unusual structure. Conservationists
are particularly interested in
elements that include structural
post-tensioning and prefabrication.
Wilkinson hopes the building,
which has stood vacant for the past
20 years, can be converted into
three flats for the local housing
association SHAL, a project that will
cost more than £500,000. The
building will feature on BBC2 in the
week beginning 25 July. Further
details are available at
www.concretycastle.com.



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Pollard Thomas Edwards' Angel Waterside
Photograph by Edmund Sumner

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Southwark council selects de Rijke Marsh Morgan's designs on the Elephant and Castle
» page 6

“We haven't lost one single client and people haven't lost confidence in us. Just the opposite”
New chief executive Jose Luis Ripoll is upbeat about Aukett's poor results » page 8

aj news

Farrell in 'conflict of interest' row

Accusations of a conflict of interest have delayed a decision to award a £60 million building contract to Terry Farrell, Edinburgh's newly appointed urban design guru.

Edinburgh City Council was expected to approve a competition-winning scheme for CALA-Morrison by Farrell's London practice to double the size of the Edinburgh International Conference Centre (EICC).

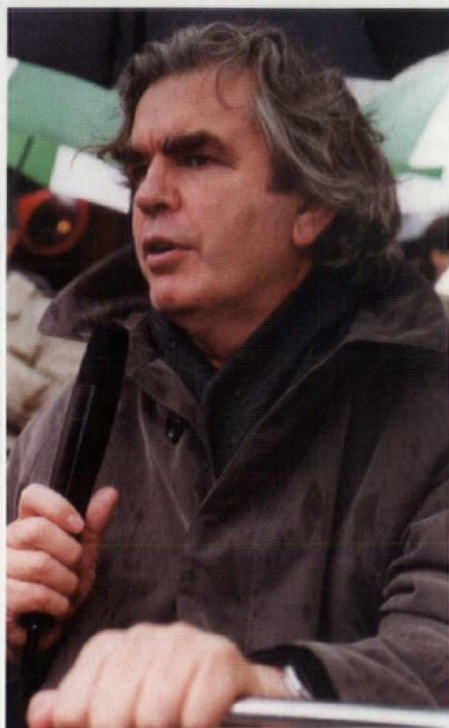
But last Thursday's decision was postponed after council officers received letters about Farrell's involvement with CALA-Morrison, alleging breaches of procurement rules.

The council's authorities have now vowed to investigate their competition procedures.

The CALA-Morrison consortium, which includes Farrell's designs, narrowly snatched the competition, provoking a heated response from fellow competitors Wilson Bowden Developments and Alan Murray Architects.

In a letter sent to Edinburgh City Council, the competitors' solicitor, Maclay Murray & Spens, claims its clients have 'serious concerns' regarding the procurement procedure.

It added: 'Our clients have drawn to our attention that Terry Farrell, the council's design



Farrell: serious concerns over Edinburgh role

czar with whom our clients were encouraged to speak regarding planning constraints and development aspects, was already at that point engaged by CALA as its consultant. It would seem to us that he and the council may have had some conflict of interest in this regard.'

During the two-year competition process, the EICC and the council considered submissions from five consortia and it was hoped work would start in the summer of 2005.

However, the council maintains that it adhered to the EU procurement programme for publicly funded projects throughout.

'We received a letter on the day of the meeting and, even though the concerns were not submitted in a formal way, we had a duty to look into them,' a spokeswoman said. 'The procurement officer will now be ensuring everything has been done correctly.'

'However, we followed the EU procurement rules to the letter,' she added.

A final decision about the CALA-Morrison scheme will not be made until the full council sits again on 19 August. Terry Farrell & Partners refused to comment.

Richard Waite

RIBA set to put trust in Knevitt

The RIBA is on the verge of appointing author and fundraiser Charles Knevitt as the director of the RIBA Trust, the AJ has learned.

The author of many books – including the famous *Community Architecture* – is in contractual negotiations with the institute.

If successful, Knevitt will oversee the new charitable trust, which, as one of three companies within the RIBA group, aims to promote architecture to the public at large. The appointment will end the one-year tenure of Roula Konzotis, who stood in when the original search proved fruitless.

Knevitt has long been associated with architecture and was involved in Prince Charles' efforts to set up an alternative Classical architectural education system.

Debate wins ministerial sympathy

Planning minister Keith Hill has expressed sympathy with the AJ's Save the Clause campaign during a special House of Commons adjournment debate on Tuesday.

The minister, responding to a speech by AJ supporter Alan Howarth MP, said he agreed that there was a strong case that 'cutting-edge design could be helped along by big private initiatives.'

And Hill also confirmed that there was still hope of a government U-turn. 'The final policy document will be published soon,' he said. 'We cannot anticipate the outcome but we are nearing completion.'

Speaking in favour of retaining the PPG 7 clause, Howarth said the case for doing so was overwhelming.

'An AJ appeal to reprieve the country house exception has been signed by more than 300 distinguished architects, planners, academics, commentators and others, including the members for Suffolk Coastal, the City of Chester and the Hon Member for Chipping Barnet,' he told Westminster Hall.

'The exception has been attacked on a number of fallacious grounds. It is alleged the countryside will be ruined by a proliferation of new country houses. The truth is that the history of our countryside is one of intervention, whether through enclosure, agricultural change, or the encroachment of industry and suburbia.'

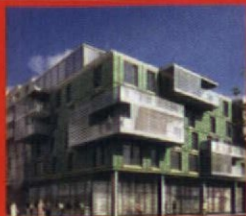
'Too often the altering of the character of the countryside has been an unhappy story, but the great landscape designers – Bridgeman, Kent,

Brown, Repton – and the owners of estates have shaped landscapes that we regard as quintessentially English in their beauty and cherish as our heritage.'

'I do very much hope, therefore, that my right honorable friends will reconsider their position on the country house exception. I know that my honorable friend the minister appreciates the importance of this issue and has been thinking carefully about it.'

'I can see no good arguments for discontinuing the exception; on the contrary, I believe that it would be a tragedy if we were to bring to an end our great history of country house building,' Howarth added.





Who are the stars of this year's National Homebuilder Design Awards?
 » pages 14-15

“I have seen at first hand the way regeneration can improve an area because I've lived in Islington for 30 years”

Lorraine Baldry is ready for the challenge of chairing the Thames Gateway Urban Development Corporation » pages 22-23

Government to announce £12bn Crossrail package 'within weeks'

The government is on the verge of giving the go-ahead to London's long-awaited and much-needed Crossrail development, the AJ has learned.

The secretary of state for transport, Alistair Darling, is expected to announce a raft of details on how the £12 billion scheme will be funded in the next few weeks.

Scheduling a White Paper – a move that is essential if the controversial project is to get the green light – has added new emphasis to decision-making in the Department for Transport on the project's future.

It is understood that Darling is keen to see the bill pass through parliament in the next session, a move that means his decision has to be announced before the House of Commons rises for the summer on 22 July.

A source close to the transport department told the AJ that funding for the project will be divided into three separate chunks.

Some £3 billion will come from the central purse, a further £3 billion from the Greater London Authority, and the remainder will be raised from a mixture of planning gain and private investment.

It is also understood that Crossrail – the feasibility company assessing the venture – has started retendering for station designs.

If the scheme gets the go-ahead it will mean a host of work in the capital for architects. Practices commissioned to work on station designs so far include Ian Ritchie Architects at the Isle of Dogs; Weston Williamson with Aukett at Farringdon and Whitechapel; John McAslan + Partners at Paddington; Tony Meadows Associates at Bond Street; Wilkinson Eyre at Liverpool Street; and Hawkins\Brown at Tottenham Court Road.

John Smith – the project architect who worked on the original designs for Paddington's Crossrail Station while at Alsop & Störmer – said it was good news that the project is set to be given the thumbs up.

'This is pleasing for London and it is exciting that it might see the light of day. However, there have been a number of false starts before now,' he warned.

Both Crossrail and the Department for Transport were unavailable for comment.

Ed Dorrell

ARB IN NOT GUILTY VERDICT

An ARB Professional Conduct Committee hearing has found James Kennedy O'Callaghan not guilty of serious professional incompetence. The committee found that the principal of Clerkenwell-based Kennedy O'Callaghan Architects had no case to answer.

REGENT PLANS TO BE HEARD

Allies and Morrison's controversial proposals for the Grade II-listed Regent Palace Hotel in London will come before Westminster City Council's Planning Committee today (1 July). The Twentieth Century Society has attacked the decision to decide the application before the Listed Building Consent.

CABE UNDER THE MICROSCOPE

The ODPM Parliamentary Select Committee is considering investigating CABE, following the Audit Report into conflicts of interest earlier this month. It is keen to assess the design watchdog's advice on the demolition of listed buildings, following a letter of complaint.



London-based Aedas is one of three architect practices shortlisted in the competition to redesign the West Kowloon Cultural District in Hong Kong. Foster and Partners and Cesar Pelli & Associates have also submitted bids to redevelop the 40ha City Club site. Aedas' masterplan includes designs for a concert hall, three museums, a water amphitheatre and a school of dance. It also boasts a landscaped park (pictured) to stretch along the entire waterfront. Should Aedas win, the Richard Rogers Partnership would be appointed as joint masterplanner and Herzog & de Meuron awarded the design of a 10,000-seat performance venue. In addition Jean Nouvel would be given the brief to design the three theatres. A final decision is expected by December.

Foster set to follow BedZED's lead

The eco-developer behind Bill Dunster's award-winning BedZED scheme is to team up with Foster and Partners to build 2,000 homes in the Thames Gateway.

Together the BioRegional Development Group and Foster are hoping to produce concept designs for a zero-waste, zero-carbon community which would house up to 5,000 people.

The unexpected collaboration follows news that Foster has joined forces with Jean Nouvel to develop a tower for the Bucklebury House site near the Bank of England.

Only two months ago Foster also announced that he would be linking up with another unlikely stablemate, Frank Gehry, to participate in a competition to rejuvenate the Milan Fiera trade fair (AJ 1.4.04).

This latest project, Z-squared, is among the first major schemes aimed at regenerating more than 1,000ha of brownfield land alongside the Thames – an area stretching from Tower Bridge to Thurrock.

The concept will use information gathered from BioRegional's successful BedZED development – the Beddington Zero Energy

Development, Wallington, Surrey – which won the sustainability prize at last year's RIBA Awards.

Other partners on the One Planet Living project include the World Wide Fund for Nature, Fulcrum Consulting and Cyril Sweet.

In the coming months BioRegional will be working with the Thames Gateway London Partnership of local authorities to identify a site for the Z-squared proposal and hopes to secure support from a consortium of industry, local government and NGO partners.

A spokeswoman for BioRegional said: 'We are pretty sure the Thames Gateway project will happen if we get the investors on board.'

'Z-squared will turn information and ideas on waste management and resource efficiency into a living, working example of sustainable living for 5,000 people within Europe's largest regeneration area.'

If it gets off the ground, the Z-Squared project may become just one in a chain of green-powered communities across Europe.

Last week BioRegional began discussions with the Welsh Development Agency to find a location for a new 1,000-home eco-village.

Richard Waite

Ice work if you can get it: designs sought for Antarctic challenge

An international competition has been launched to design a new research station in the Antarctic. Located on a floating ice shelf, the current British Antarctic Survey (BAS) centre needs to be replaced before it drifts off on an iceberg.

The new scientific complex must be self-sufficient, able to withstand temperatures of minus 30°C, and capable of migrating nearly 400m on ice floes each year. The structure should also have minimal impact on Antarctica's pristine environment.

Linda Capper from the BAS said: 'It is an environmental and technical challenge. The design will have to look at ways of overcoming the moving ice-shelf and the 1.5m of snow which falls on the station every year.'

At the moment the main accommodation blocks, which house up to 52 scientists, are lifted above the snowline on stilts which are jacked up when needed. Other temporary buildings and garages are fitted with skis and can be pulled free from drifts.

Capper added: 'This is the fifth station on

the site and we know what things work. But we don't want to be too prescriptive about the solutions. We have an opportunity to get something really special.'

The BAS, which is government funded, is looking to ship the new building to the South Atlantic before 2009.

The competition, organised by the RIBA, is initially calling for expressions of interest from multi-design teams. For details on how to enter contact Linda Roberts at the RIBA Competitions Office on 0113 2341335.



Southwark council has this week appointed de Rijke Marsh Morgan Architects (dRMM) to build the first housing scheme in the regeneration of London's Elephant and Castle. The practice saw off competition from Haworth Tompkins and Loates Taylor Shannon in the competition's final round. The Wansey Street scheme – which aims to be a demonstration project for the rest of the massive regeneration – will see the development of 29 new homes for the Southern Housing Group. Southwark deputy leader Catherine Bowman said: 'The dRMM team has shown that they can produce high-quality, modern housing to exactly the standard that we want to deliver in the first phases of the Elephant and Castle regeneration.'

Farrell to follow Nash through London

Terry Farrell & Partners yesterday unveiled its proposal for a new walk through the heart of central London, 'The Nash Rambles'.

The ambitious proposal – which loosely aims to follow a series of 19th-century John Nash buildings – comes on the back of the publicity surrounding Farrell's concept of turning the Euston Road into the London version of the Champs Elysées last year (AJ 23.01.03).

The new route – which has been developed following the success of the Queen Elizabeth Walk on the South Bank – will take in Primrose Hill, St James's Park and Trafalgar Square.

The scheme includes the wholesale relocation of London Zoo, the proposals being drawn up for the 2012 Olympic bid, direct access and crossings on the Euston Road and to Regent's Park Tube, and a central walk down Portland Place.

The project also aims to take advantage of planned improvements drawn up by the Crown Estates for Regent Street and changes to Oxford Circus proposed by the New West End Company.

Farrell argues that the scheme will bring coherence to the many improvement proposals under way in central London and will also add a 'spine' to the various Olympic events set to be dotted about the capital.

The scheme has also won the backing of London mayor Ken Livingstone, the RIBA and local business interest groups.



Court challenge will end Part 3, claims Salisbury

ARB rebel Ian Salisbury has predicted that the board will soon be forced to abandon the Part 3 qualification.

The RIBA presidential candidate has revealed details of legal advice that warns the board's bosses that, if the Part 3 requirement is challenged in the courts, it will have to be abandoned.

The advice says that, because foreign-qualified architects that come to the UK are unrequired to take Part 3, there is no legal reason why British-trained architects should be forced to take the qualification.

In a written statement, Salisbury said he believed the change was inevitable, especially since the proportion of foreign architects using this loophole has increased to 20 per cent of the total registering each year.

'I have seen a copy of that advice,' he wrote, 'and it seems to me to be quite wrong for the ARB to be insisting that UK candidates present Part 3 qualifications given the advice the board has received.'

But the Oxford-based practitioner added that he believes the potential change would benefit the RIBA.



Salisbury: 'Change is inevitable'

of change.

'We last looked at this back in 2000 and we agreed with the RIBA that the current setup is completely acceptable and we see no reason why this should have changed,' he said.

'I also find it interesting that many of the foreign architects that come to this country choose to do Part 3 even though they do not have to, because they think it is such a good thing,' he added.

Ed Dorrell

SIZE MATTERS FOR MVRDV'S SERPENTINE GALLERY PLANS

The AJ has learned that MVRDV's proposed pavilion for the Serpentine Gallery is set to be 'bigger than anything that has gone before'. The Dutch-based practice is set to design the gallery's first winter pavilion, a move that surprised traditionalists that have grown used to the summer events. A source told the AJ that designs for the structure are 'much bigger' than the gallery's authorities had expected. MVRDV's appointment follows the success of previous years when Oscar Niemeyer, Toyo Ito and Zaha Hadid all designed pavilions to widespread acclaim.

VOTING SLIP ERROR HOLDS UP RIBA ELECTION RACE

The results of the RIBA presidential election will be delayed for up to two weeks following problems with the international ballot papers. It is understood that the organisation charged with arranging the election, the Electoral Reform Society, failed to send out the international voting slips in time for them all to be returned. The RIBA has promised that candidates Simon Foxell, Richard Saxon, Valerie Owen, Brian Godfrey, Jack Pringle and Ian Salisbury will be told who will succeed George Ferguson by the beginning of next week.

Results justify shake-up claims new Aukett chief

The Aukett Group's new chief executive, Jose Luis Ripoll, has claimed poor results revealed last week justify the shareholder revolt that shook the company back in April.

On Thursday the international group of architects and engineers announced losses of £100,000 for the first six months of this year, compared with a profit of £270,000 in the same period in 2003.

However, Ripoll is confident in his ability to turn things round and he is adamant that the disappointing figures are proof that tough action was needed.

'I didn't need these results to show me we were doing the right thing, but if we had any doubts then, it's very clear now,' he said.

'The only thing I can never forgive myself for is not having done this before. I should have done it six months ago.'

And he pointed out that in the 12 weeks since the Extraordinary General Meeting (EGM), Aukett has already taken on 31 major new projects with fees totalling £6 million.

Among these successes is a major commission to design the headquarters for insurance giant Norwich Union.

'Defeat is not an option,' Ripoll added. 'It's very good that the new projects have come so early after the EGM and it shows the changes have been well received by the market.'

'We haven't lost one single client and people haven't lost confidence in us. Just the opposite.'

One of Ripoll's main aims is to unify all the arms of the business, particularly outside the UK, and as a result he has appointed Brussels-based Steven Beckers as managing director of all European operations.

'Before we had just a bunch of European practices working on their own,' Ripoll said. 'And, though

some were very successful, there was no connection between them.'

'We want a sharing of knowledge, a sharing of information and a sharing of skills,' he added.

Richard Waite



Ripoll: 'I should have done it six months ago'

Lord Falconer closes door on new Supreme Court

The new Supreme Court is unlikely to get its own, purpose-built home.

The Lord Chancellor's Department seems to have ruled out building a major new court complex to house the flagship of Tony Blair's constitutional reforms.

Appearing before the House of Commons' Constitutional Affairs select committee, Lord Falconer revealed that he now favours a move to either Middlesex Guild-

hall or the new wing of Somerset House in the Strand.

A spokesman for Falconer said: 'Nothing has been absolutely ruled out forever.'

'It is possible neither of the sites is sustainable, but part of the thinking is that we have to get on with this,' he added. 'It is not the case either that the decision is just about money, but that is important.'

Last year RIBA president George Ferguson wrote to Fal-

coner outlining his support for a new courthouse.

However, speaking last week, he said he was not surprised by the decision. 'A fresh start would have been my preference, but I accept the practicalities,' Ferguson said.

'Though it's an opportunity lost to build, it's also an opportunity gained to do something with an historic building.'

'If it's a second best, it is a good second best,' he added.

DCMS unveils new heritage reforms

Heritage minister Andrew McIntosh has unveiled the results of public consultation into proposed changes to the listed building system.

McIntosh also revealed further details of proposed reforms and the impact the Department for Culture, Media and Sport (DCMS) hopes they will have on architecture and construction.

The package includes important new rights for owners of old properties, including statutory consultation on decisions to spot-list and a new right of appeal.

Other reforms include the creation of a new 'super register' of all protected buildings, monuments, parks, gardens and battlefields – a move that was backed by 85 per cent of consultees.

Most significantly, responsibility for designation decisions will be transferred from the DCMS to English Heritage 'subject to certain important new safeguards'.

McIntosh said he was pleased about the proposed changes. 'Our current system of heritage protection is second to none,' he said. 'If it did not exist, the landscape of England would be a vastly different, and an infinitely poorer one.'

'But improvements can be made. There is too much overlap between safeguards and not enough transparency. We need a more open, more effective system.'

'We need to manage change to ensure old buildings and public spaces are put to productive new uses, while retaining a robust level of protection for our assets,' McIntosh added. 'We need to breathe new life into an old regime.'

McIntosh also announced that the changes would take the form of a White Paper, which would be published after a series of English Heritage pilot exercises currently under way (AJ 11.3.04).

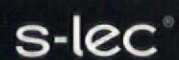
STUDENT SHOWCASE



Peter Preston designed this cafe, gallery and apartment space as part of his final design module in his first-year at Liverpool John Moores University. He took the idea of a window as an element similar to the frame of a picture. Each window is, therefore, at a different height from the others, so that both children and adults can enjoy a different perspective. In addition, each window is different. Preston designed the scheme using ArchiCAD, and rendered it in Artlantis. His tutor was Robert MacDonald.

Student Showcase is sponsored by Students' Union, a website set up by Union in association with The Architects' Journal at www.students-union.net. To submit work for publication in Student Showcase, email a publication quality image to ajstudentshowcase@emap.com



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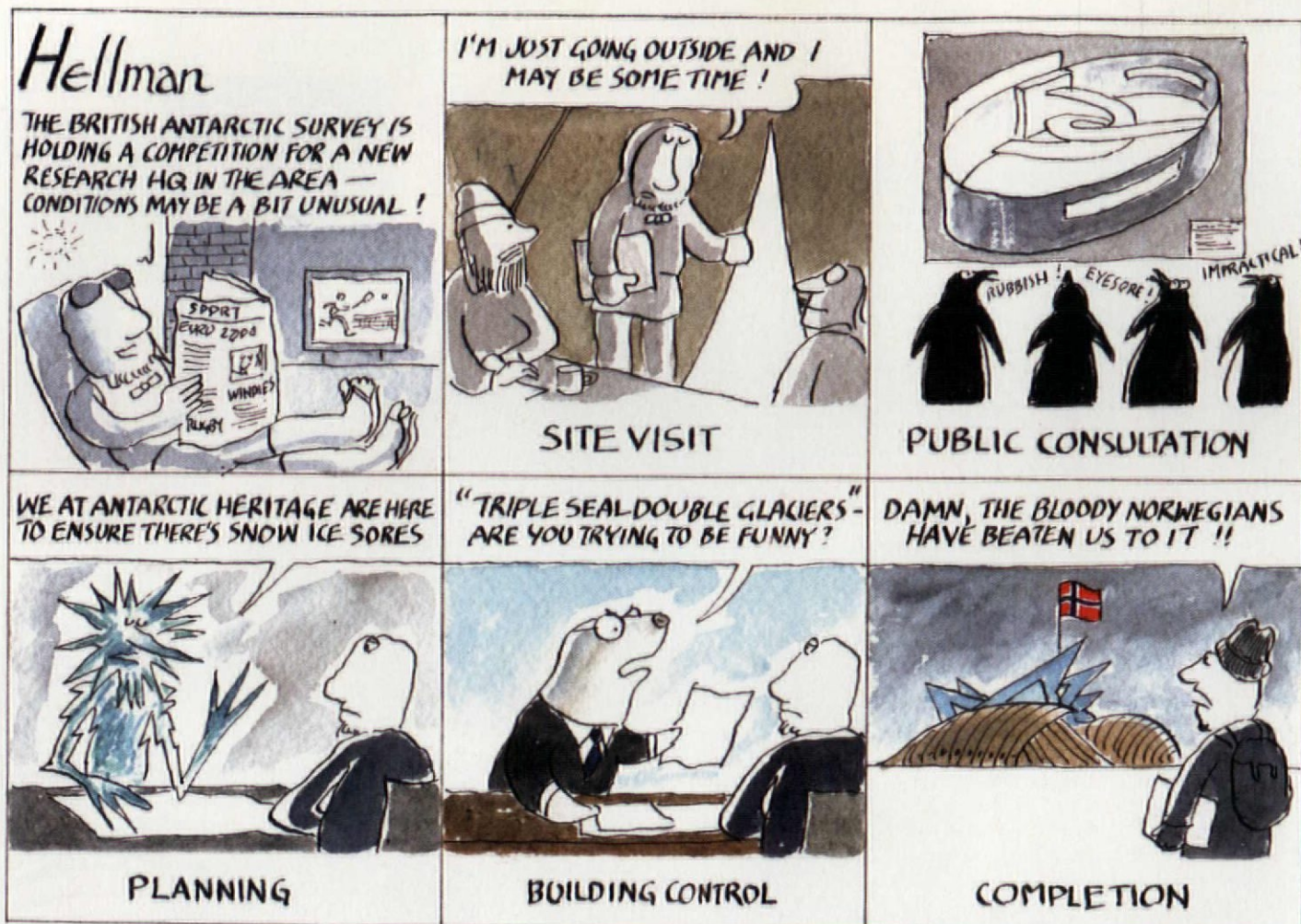
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who said what

'If we had a truly mature architectural culture, would one Royal Academician (Sir Nicholas Grimshaw) be willing to make a mess of a listed building by another (H T Cadbury-Brown), at the request of a client (the Royal College of Art) that should know better?'

Alan Powers. *Spectator*, 26.6.04

'While Selfridges is certainly an asset to Birmingham, should it not raise concerns that the most talked about building in the region is a shop?'

Ian Saunders of D5 Architects. *Birmingham Post*, 24.6.04

'The National Theatre has always divided people, floating above the river like a temple or goose turd, according to which way you look at it'

Hermione Eyre. *IoS*, 27.6.04

'We have never had a purpose for planning in the UK - we have had a system without a purpose'

RTPI president Mike Hayes. *Guardian*, 23.6.04

vital statistics

- The civil service is defying its pledge to move out of London. Since the beginning of the year, government and public bodies have accounted for 36 per cent of all office space take-up in the West End.
- Five times as many tornadoes hit the UK than the US every year, according to research by geographers at Leeds University. Nearly 100 twisters strike our shores each year. However, few reach the 480km/h speeds reported in America.
- The managing director of housebuilder Berkeley Group, Tony Pidgley, is set to earn £24 million from his personal stake in the company. Berkeley Group rejected a management buyout and decided to hand £1.4 billion back to its shareholders in dividends.
- Nearly 400 televisions have been ordered for the new Scottish Parliament building at Holyrood. The screens will add another £663,000 to the project, which has already cost £431 million.

an **aj** conference

Part E:

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Making sense of the revised sound regulations

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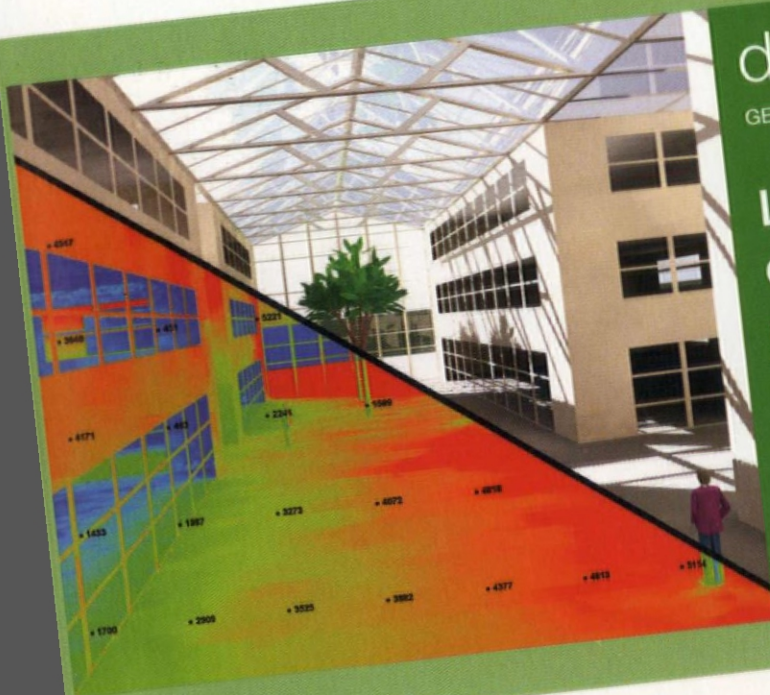
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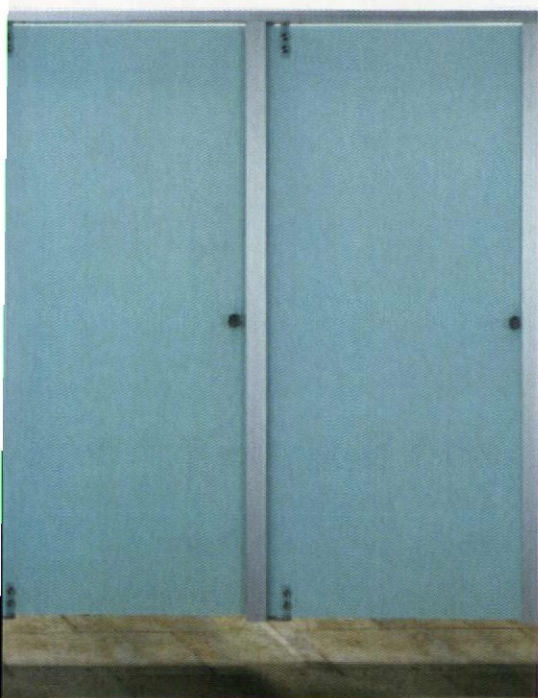
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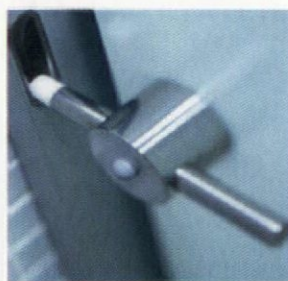
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9. BEST MIXED-USE DEVELOPMENT

Gunwharf Quays, Portsmouth
Amos Partnership for Berkeley Homes

10. BEST SOCIAL HOUSING DEVELOPMENT

Beaufort Court, Lillie Road, London SW6
Feilden Clegg Bradley for Peabody Trust

11. BEST SMALL HOUSING DEVELOPMENT OF THE YEAR

Collison Place, London N16
Julian Cowie Architects for Space Homes

12. BEST LARGE HOUSING DEVELOPMENT OF THE YEAR

Waters Edge, Shaldon, Devon
Harrison Sutton Partnership for Midas Homes

13. BEST LANDSCAPING OF A DEVELOPMENT

Snowdenham Hall, Bramley, Surrey
MWR for Michael Wilson Restorations

14. BEST HOUSING PROJECT OF THE YEAR

Accordia, Cambridge
Feilden Clegg Bradley for Countryside Properties



1. BEST HOUSE (3 storeys or more)

The Hazeltine, Kings Hill Park, Kent
Clague for Environ Sunley

2. BEST INTERIOR DESIGN

Huf Haus

Peter Huf for Huf Haus

3. BEST RENOVATION AND CONVERSION

100 Westminster Bridge Road,
London SE1

Assael Architecture for Crest Nicholson

4. BEST RETIREMENT DEVELOPMENT

Bemerton Farm, Salisbury Wiltshire

ALP Architects for Beechcroft
Developments

5. BEST HOUSE (1 or 2 storeys)

House Three at Petersham, Surrey
Terry Farrell & Partners for
Berkeley Homes

6. BEST APARTMENT BUILDING

Brewery Square, London EC1

Hamilton Associates for
Berkeley Homes

7. BEST HOUSE OF THE FUTURE

The Hazeltine, Kings Hill Park, Kent
Clague for Environ Sunley

8. BEST USE OF A BROWNFIELD SITE

Angel Waterside, London N1

(formerly known as Harris Wharf)

Pollard Thomas Edwards Architects
for Groveworld and PTE Property



The winners of the the *Mail on Sunday* National Homebuilder Design Awards 2004, sponsored by *The Architects' Journal*, were announced last Friday. Michael Manser chaired a panel of judges which included John Assael, Robert Adam and AJ editor Isabel Allen. For more information visit www.newhomesuk.info





GRIFFITHS & ARMOUR HAVE RECENTLY LAUNCHED ARCHWAY, A NEW PI INSURANCE FACILITY FOR UK ARCHITECTS

Andy Johnstone answers some questions on the reasons for the creation of Archway and what G&A can offer Architects in the PI market.

Q *G&A's name is synonymous with consulting engineers. Why the move into architects?*

A We are often approached by architects, but we have always supported what was the official RIBA Scheme, and until recently have not felt it was necessary to create any alternative arrangements.

Q *So, what has changed to cause you to launch Archway?*

A A number of factors. The perception, which we have gleaned from speaking to architects in recent years, is a growing level of dissatisfaction over the service levels, and the brokers who run the scheme do not seem to support it in the way that, for example, we support our Scheme for Members of the Association of Consulting Engineers.

Q *How does that actually affect Architects?*

A I think it affects them in a number of ways. First of all, it can weaken the arrangement to the point where it is no longer effectively a scheme. Secondly, it may put more power in the hands of the underwriter, who then begins to exercise that power by increasing premiums and introducing exclusions and restrictions.

Q *When did you launch Archway, and can you tell me a bit more about it?*

A We actually launched Archway in response to a need in Ireland 7 years ago, and it has proved a great success. My colleagues in our Dublin office now look after a significant number of architects.

Here in the UK, we have almost 100 people dealing exclusively in PII for the construction professions, and we look after over 3,000 professional practices. We have run schemes for many years, and indeed the ACE Scheme is probably the longest running facility in the UK, and is much admired. Archway is modelled on the ACE Scheme.

After its success in Ireland, we introduced Archway into the UK earlier this year.



Andy Johnstone has been a Partner at G&A since 1991

However, the launch was fairly low key, as we see this as a long-term project. We do not expect dramatic growth, but are anticipating a steady increase. However, Archway is available automatically up to a £5m limit (but higher limits are not a problem) and that in itself may accelerate the growth.

Q *What is the main feature of Archway?*

A In a nutshell, it is that we select insurer partners who we are confident will be around to pay the claims in anything up to 10 years' time, and that they go out of their way to understand what architects actually do. The term "architect" covers a vast array of activities, and consequently many levels of risk. It is important that insurers understand the different work stages for example, and appreciate the risks in architectural activities. No two architects are the same.

Q *Do you think the official scheme will fall into disrepute?*

A I certainly hope not. In my view, competition is healthy, and I am a firm believer in choice. Unfortunately, in this day and age, choice is too often just another word for price, and whilst I quite understand that cost is important, it is certainly not the sole factor in the decision process. There is no point, for example, buying a PI policy for a lower premium, if when a claim is made against you for specifying composite panels

5 years ago, you find that there is no insurance protection, as it has been specifically excluded.

Q *So what are G&A bringing to the table?*

A Again, I think it is a combination of things. Stability, understanding, high levels of service, contract review, very wide cover and, last but not least, the creation of firm foundations so that we are around to continue to look after architects for the next 50 years plus, as indeed we have been able to do for consulting engineers.

Q *That leads me to ask whether there is a conflict with your looking after engineers and architects on the same project?*

A We look after just under 500 architects at present, including some of the larger firms. In that period, we have obviously come across situations where both the architect and engineer on a problem job are clients of ours, but we have never had any difficulties. We have panels of experienced experts and lawyers at our disposal, and we obviously ensure complete separation for confidentiality reasons within the office.

Q *Architects often express the view that the insurance industry does not use claims to help them manage their practices. Is this a fair criticism?*



A Generally speaking, I think it is a valid criticism, but one which we at G&A spend a huge amount of time countering. We have specialist staff whose role is to help our clients manage their risks. We run workshops, seminars, and produce booklets, literature, CD Roms and videos, all aimed at providing feedback on the lessons which can be learned from claims.

It has always seemed to me that even though claims can be very individual, it is usually

possible to identify some useful factors which have value to all architects.

Insurance is a simple industry. The phrase "we are all in this together" is very true, and the more we can do to help architects avoid claims into the future, whether clients of ours or not, the better.

Q Where is G&A's main office?

A We started life in 1934 in Liverpool. I happen to believe that Liverpool's award of

the Capital of Culture is long overdue, as we are immensely fortunate to have some wonderful examples of architects' creative abilities. The plans for the City's development over the new few years are exciting.

Our centre of excellence for architects is based in our Liverpool head office, but our offices in Manchester and Watford are staffed by fully trained PI brokers.

Q A pointed question now. Are the premiums always going to be cheaper than anywhere else?

A It may surprise you when I say the answer to that is no. There will undoubtedly be some architects whose sole focus is cost, but as I mentioned earlier, that is not the whole story.

There are a great many architects who value the day-to-day service, the way in which we review contracts on their behalf, the way we settle claims and arrange for robust defences if appropriate, and the knowledge that we bring to the table. We will certainly be able to help those firms who do not worship the god of premium and, in my experience, once appointed, together we will forge a very strong partnership with insurers which if our experience with consulting engineers is anything to go by, will stand the test of time.

Q If any architect wants to know any more, what should they do?

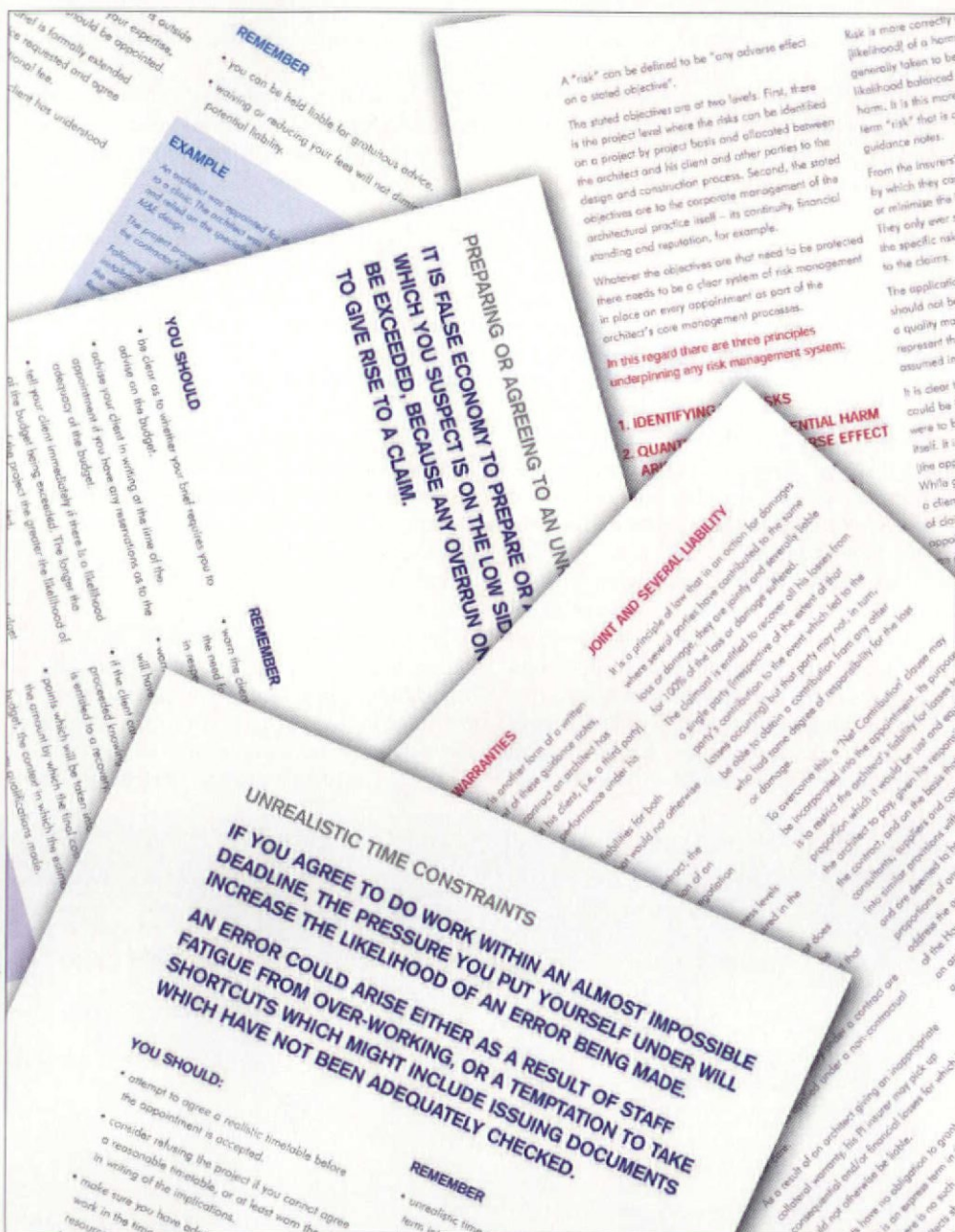
A Well for a start, I hope they do not wait until 2 days before their renewal date! My advice to architects is quite simple.

First, make it clear to your existing broker that you want renewal terms at least 3 weeks in advance of renewal, then start discussions with any potential new adviser at least 8 weeks before renewal date. Finally, do not involve more than 2 brokers – the market is too small, and you risk damaging your reputation.

Making decisions on PII cannot be taken too lightly, and everyone needs a little time to weigh up all the factors – I dare say architects would not be very pleased if, having entered into competition, they found that a decision had been made in 5 minutes!

Q How can they contact G&A?

A In the first instance contact me by fax, phone or email, as below, and I or one of my team will talk through the issues and provide any necessary advice and support. ■



Griffiths & Armour have produced a series of publications and guidance notes to accompany the Archway Scheme

Leading the way with designs

With a string of projects by high-profile architects, UK housing associations are having an impact on design and helping to improve standards across the board.

Or are they?

David Taylor reports

Have housing associations overtaken volume housebuilders when it comes to design? 'I think there are beacons and stars in the housing regeneration area but there is still a lot of mediocrity,' says Simon Allford of Allford Hall Monaghan Morris. 'We've been fortunate to work with some of the best in Rowntree and the Peabody Trust, who have been caned in the press as being innovative but over-budget, but who have set new standards or, in a sense, returned to old standards in terms of offering bigger, better flats.'

Pankaj Patel of Patel Taylor agrees that housing associations such as Peabody have been an 'incredible influence' but that they are 'a rare example, putting money in and trying new methods out, as at Murray Grove [in London's Hackney], which was fantastic.' Housing associations and private developers are still neglecting external space, says Patel, and one has to look abroad for exemplars of high-density living. 'There are enough examples of Span housing and Edwardian blocks – we need to pump up the density to make it work again.'

David Birkbeck, chief executive of pressure group Design for Homes, reports that many housing associations 'remain very conservative about what they do', fearful of finding unconventional property difficult to let.

New Housing Corporation chief executive Jon Rouse plays down the role of radical design innovation in new affordable housing.

Yes, outfits such as Peabody have scooped architecture awards but they have been scolded by regulators for spending too much on innovation and too little on existing housing stock. 'There is a question about how far we step out in innovation in a sector that aims to provide people with places to live,' Rouse has said.

Peabody development director Dickon Robinson feels that organisations such as his have pushed housebuilders into producing better schemes, but that CABE has also played a key role. Peabody projects such as Lillie Road and BedZed have scooped awards, but the bigger fish have also turned to better products and, overall, housing has improved in the past five years.

Sign of the times

Robinson suspects that the emphasis on design is simply a sign of the times. Economic conditions in the 1990s meant not much was built and the 1980s were still in the shadow of unsuccessful housing from the previous decades. Now we are seeing innovation in both housing association schemes and commercial projects.

David Levitt of Levitt Bernstein hails the improvements in developers' output, but both he and Robinson agree that the better schemes are concentrated in the major urban centres, and that it has been an urban, rather than a suburban or rural, change. He points to



on home improvement

'incredible successes' such as Coin Street, perhaps possible because of the high value of the land, but also exceptions, like St George's unfortunate 'flirtation' with Broadway Malyan at Vauxhall. Patel expects other, bigger developers to muscle in on more residential work in the future. Chelsfield, not renowned for housing, has developed extensive residential schemes at Paddington Basin using architects such as Munkenbeck + Marshall and Jestico + Whiles.

Brand values

This is what Birkbeck characterises as developers differentiating themselves by the standards of architects they use – which stems from consternation in the boardrooms over how to sell to a new market. Where before the traditional housebuilders were aiming their products at *Express* or *Mail* readers, says Birkbeck, nowadays their buyers read *The Times* and the *Telegraph* – even the *Guardian*. So the product has shifted from the standard boxes to 'places', large developments and marinas. Simon Allford points to Berkeley Homes' Brewery Square scheme in London's Clerkenwell, 'inspired' by Erick van Egeraat and designed by Hamilton Associates, as a prime example of product differentiation.

Berkeley prides itself on the architects it uses – including Sheppard Robson on a new residential joint venture with the Royal Bank of Scotland near the Bank of England, and Ian

Ritchie on the Potters' Fields site, stuck at appeal stage on 'political' grounds. Berkeley's managing director Alisdair Chant denies that this is a bid to keep up with an agenda set by housing associations. Berkeley, he maintains, was always 'one step ahead of the game anyway'. 'I'm aware of Dickon Robinson's agenda,' he says. 'Whether or not it's been a success I couldn't say – whether it's generated profits, whether people enjoy living in them or they are a good investment in terms of life-cycle costing, I don't know.'

What Chant has noticed is a shift to larger-scale mixed-use urban developments during the past five years, where architectural quality has 'lifted considerably.' Berkeley is involved with another scheme which should advance housing quality further, having been short-listed against four other teams featuring developers including Quintain Estates, Countryside Properties and Stanhope to look at sites, probably using architect PRP and others, in a London-wide initiative being run by English Partnerships. The pilot scheme aims to create a development mechanism capable of fast-tracking more than 15,000 new key-worker homes in the next five years.

So there are developer beacons for innovation. There are concerns too, however, such as Robinson's, that UK housebuilders are actually building smaller properties. The RICS survey which said that internal space has diminished by 10 per cent since 1980 (when

the Parker Morris standards were abolished), is only part of the picture, however. According to Birkbeck, Berkeley, for example, used to build two-beds at 60-65m², but now does so at 100m², and one association – Downland Housing Association – builds at Parker Morris standards plus 10 per cent 'on the sly'.

Sunny outlook?

On balance, Robinson claims to be 'reasonably optimistic that the quality of product is improving', adding: 'I like to think that housing associations like us have been influential, but whether we can make excessive claims – CABE has been just as influential.' Birkbeck's view on associations having an effect is different. 'It's crap,' he says. 'Absolute crap.'

True, Peabody has excelled in looking at sustainability to progress things such as BedZed. But, in reality, although Birkbeck took Bill Dunster to talk to more than 80 developers about the scheme and they understood it, they were far too 'cut-throat' to form the necessary cooperatives to build similar schemes in bulk.

In the end, Countryside, Wimpey, Crest Nicholson, Berkeley, are all lifting quality – but only where they have good development directors. 'At least we've got to the stage where they're not questioning "do we have to use architects?" but "which is the right architect to choose?"', says Birkbeck. 'That's pretty good news for consultants.'

DOES PREFABRICATION PAY

Both housing associations and private developers have been experimenting with prefabrication. Key experiments initiated by Peabody include Murray Grove, Cartwright Pickard's 30-unit modular housing scheme in Hackney which was erected in 10 days, and Raines Court, also in Hackney, by Allford Hall Monaghan Morris. Simon Allford says the lessons learned are as important as the relative successes of individual schemes. At Raines Court the practice catalogued all the difficult elements, such as the percentage of the modules which were actually pre-clad, to help the industry learn. The lessons learned at Raines Court (far left) are currently being taken on board with AHMM's Momo project, another prefabricated housing scheme being designed in conjunction with a shipping container firm (left).

Berkeley Partnership Homes has just completed Salamanca Square, a mixed private and affordable housing scheme designed by Rolfe Judd on London's Albert Embankment which uses modular bathroom pods. Managing director Alisdair Chant explains: 'We wanted to see if there were savings on site associated with cutting the trades involved with bathrooms traditionally. Is this going to save time? Yes it does. Is it going to have fewer defects? We'll have to wait and see.'





Housing winners show the positives but let's not get too carried away

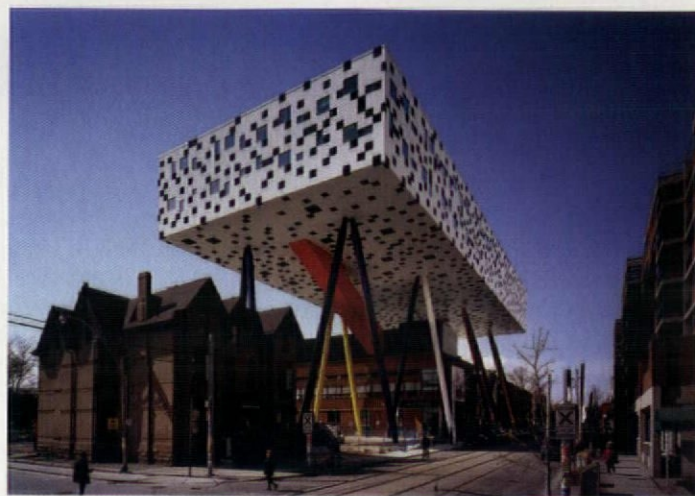
Judging the National Homebuilder Awards (pages 14-15) is a dubious privilege. Each of the three category winners, which have been published as AJ building studies, offers a particular cause for hope.

First there is the Terry Farrell-designed development of three luxury courtyard homes at Petersham in Surrey, winner of the Best House category (AJ 4.12.03). It has everything you would expect of award-winning architecture: a big name architect, an extravagant price tag (the advertised guide price is £4 million a throw) and a one-off design. The surprise is the developer – Berkeley Homes; an indication that the most massive of mass house-builders is beginning to grasp the commercial worth of linking with top-end architects. Berkeley, which has just announced its intentions to pull out of 'traditional' house-building, has learnt that there are more subtle ways to add value than by ramping up the square footage or the number of luxury appliances.

Second, and at the opposite end of the spectrum, there is Feilden Clegg Bradley's Beaufort Court in south-west London, winner in the category for best social housing development (AJ 16.10.03). Innovative in terms of construction and as architecturally ambitious as any of the winning projects, it is one of several high-profile schemes commissioned by the Peabody Trust and proof positive that social housing is no longer the Cinderella of the industry. Third is Angel Waterside, a residential development in Islington designed by Pollard Thomas Edwards and deemed by the judges to be the best example of a development on a brownfield site (see pages 26-37). Quirky and highly site-specific, the project was co-developed by the architect itself.

Taken together these three projects suggest that private housebuilders, housing associations and architects themselves are starting to challenge the misapprehension that, when it comes to housing, supply and construction can be treated as distinct from design. But the flagship projects which make the headlines give a misleadingly optimistic impression of the industry as a whole. You may have reservations about some of the winning projects – but you should have seen the ones which got away.

Isabel Allen



When Will there be an end to Alsop's jokes?

For goodness sake, when is the architectural press going to stop publishing the work of Will Alsop (Tabletop Building, Toronto, AJ 24.6.04)? We've heard that joke before (multi-coloured slab hovering on wacky sticky-out-legs) and frankly I didn't find it funny or clever the first time around. It is a while since we've heard the one about the amorphous shaped blobs, but that one never seems to get built. When he does manage to have a new idea, I'm sure you will let us know; meanwhile, please don't bother.

Roy Mittins
London N8

Selfridges' skirt fails to lift the spirits

Joe Holyoak is to be congratulated on his letter about the Selfridges building in Birmingham (AJ 24.6.04). I had been tempted to address a similar theme myself.

Delayed at New Street Station, an architectural disgrace, for 90 minutes, I ventured out at about 7.30pm to explore the environs between the Selfridges building and the pre-existing St Martins Church – now dominated by the department store. Mr Holyoak and I share major

reservations about the ugly skirt area of the new building.

At night it is particularly depressing – and somewhat creepy. The innovative discs suddenly terminate and a great opportunity has been lost either to introduce display windows or restaurants to brighten up a dismal area in the heart of the city.

I claim that architecture is only successful when a building is adequate both internally and externally at all levels and in all locations, during both day and night.

Unfortunately, small models and computer-generated views do not address many of the important minutiae of buildings (and avant-garde bridges) for the human beings close to the structures at ground level. Clients beware!

John Stubb
Barton-on-Sea, Hampshire

Education needs time to take its course

Having just picked up an old copy of the AJ (12.2.04) and read the various views expressed on the effects top-up fees are likely to have on the future of architectural education, I would like to add my own comments.

Problems such as this are self-induced: we invite upon ourselves negative economic pres-

asures, by an insufficient understanding and presentation of our very educational support. The blame must lie with the ARB. As a representative and regulatory body, it is not sufficiently promoting the role of trained architects within wider political and regulatory structures.

Shortened study is just a cost-cutting exercise; it is negative and should be resisted. It is on a tried-and-tested basis that the course is as long as it is. In fact, if we look to the continent, students in Germany, Spain, France and so on realise that study for even longer than seven years is necessary. Closer to home, an increasing number of students find their study is shortened already through having to work externally to fund their education.

More training could be argued for, which might include the following: more readily examinable aspects such as the stricter applications of geometry and logic (without, of course, attempting to kill design thought by excessive defining and delimiting); the place of architecture as a branch of just about everything else; research and development of materials, computers, perception; analysis and integration of current costs in the construction industry; the list goes on, and in fact so does architectural learning.

Erosion of the ground structure makes only for collapse. As my former teacher, David Dunster of the University of Liverpool, points out, 're-examination is necessary, but re-evaluation of training should not undermine the foundations of what makes for good architectural – and political – vision'.

Paul Lally
Dublin

Disappointed at lack of a direct request

It is disappointing that Robin Vaughan did not raise his correc-

tions with me directly, for had he done so he would have saved your readers from being misinformed (Letters, AJ 17.6.04)

The Statutory Instrument revising the composition of the ARB's professional conduct committee was brought in by the government on the fast track after many months of inactivity. I am no expert in parliamentary procedure, but my MP, Evan Harris, used the words, 'unseemly haste' when he told me of his surprise that this procedure was used for what should have been unhurried and carefully considered business.

The matter in question, by those who raised the Early Day Motion, was the wisdom of retaining members of the board on the PCC after its enlargement. They who firstly make policies and then make judgements on them are always open to the accusation that they may judge not by what they said but by what they intended to say.

The separation of the juridical function from the policy making is the essential protection against this injustice, long recognised in the maxim that nobody may judge in his own cause.

In deference to this legal principle, both the General Medical and the General Dental Councils have recently built a wall between their policy-making councils and their PCCs. This and other human rights issues were discussed by the ARB on 23 September last year, and in consequence the motion to accept the changes was lost 4:3.

The defeat was secured by the chairman who, perhaps drawing on his expertise as a judge, placed his casting vote in favour of retaining the status quo. Vaughan may be able to explain how this was 'an endorsement' of the change, but that level of ingenuity is beyond me.

Ian Salisbury
Oxford

Housebuilders not solely to blame for urban blight

Just read your leader in 10 June issue. Excellent summation. Problem is that Prince Charles' intervention legitimised the British architectural wallpaper of two decades which now disfigures every town in Britain, which neither the RIBA, nor CABI, likes to acknowledge as the output of the lesser reaches of the architectural profession, in thrall to unenlightened clients desperately seeking planning consent. And it is still getting built – most annoyingly up and down both sides of the Thames.

When are we going to see the real rubbish, nearly all of it designed by architects, intelligently critiqued so clients know who to avoid? It is no good just blaming the housebuilders – they did not go to architectural school.

Lee Mallett, Transformer Properties, London EC1

Conservation architect should also be credited

Thank you for including details of the RIBA Award for Compton Verney Art Gallery in Warwickshire (AJ 17.6.04), and for the building study (AJ 10.6.04).

Unfortunately, the item on the awards failed to credit the conservation architect on the project, Rodney Melville & Partners, which worked jointly with us on the transformation of the dilapidated mansion house into a world-class art gallery.

Paul Williams
Stanton Williams

Poignant reminder of the genius of 'Barrence'

Bryan Avery's poignant obituary of Barry Russell (AJ 24.6.04) will remind all of us who knew him, or the countless number of students who were taught by him, just what we have all lost.

Barry first made contact with me by airmail from the US in the



1970s. He was writing his magnum opus, *Building systems, industrialisation and architecture*. It is 758 pages long, still one of my treasured books, and should be read by everyone.

We continued writing for a number of years. Then one day sitting on a bus travelling across Finland on one of Bob Giles' early SAG Tours, my wife and I fell into conversation with a leather-jacketed man wearing a flat leather cap and I suddenly realised who this funny guy was.

I shall always remember the conversation. For some reason, it came round to names. 'Laurence's short for Laurence, Terry's short for Terrence. Barry's short for nothing. Why can't I be a Barrence?'

For evermore he was Barrence in our house, I shall miss him. Especially the hand-drawn Christmas cards, the mad letters, the phone calls. He was a wonderful, clever, brilliant genius.

Sam Webb
Canterbury

Apology

The AJ would like to apologise for the misspelling of Barry Russell's name in his obituary (AJ 24.6.04), and for the misspelling of Bryan Avery, who wrote the obituary.

Please address letters to the editor at *The Architects' Journal*, 151 Rosebery Avenue, London EC1R 4GB, fax 020 7505 6701, or email angela.newton@emap.com to arrive by 10am on the Monday before publication.



It's easy to alter perception, buildings are more difficult

Hindsight is a wonderful thing; perception is much more magnificent and as freely available. It can be offered before, during and after the event and continuously modified in response to the shifting situation. It can also be attributed to others for a myriad of purposes.

In a debate on Radio 4 on the ban on wearing a jubbah (full-length Muslim outer garment) in a school in Luton, one politician's perception was offered in defence: that the ban was the result of both the management of the risk of a mobile fabric trip hazard, and a liberal policy of encouraging student attire, ensuring that neither creed nor class interfere with the well managed process of integration into our culturally diverse society. While I found the perception to be grotesque, I recognised that it was offered as one possible insight. In these political conversations, perception becomes a tool for the abdication of authorship of idea: implying many views but proposing none.

In architecture it is the reverse. Our perception of the information to hand is our core skill. Our difficulty is finding people who enjoy our perceptions enough to pay us to perceive things for them. Then our perceptions may become buildings, which we hope our clients (as the possessors of hindsight) will not overly criticise and that others might enjoy. Our perception becomes our signature.

As an architect I can offer one perception of towers, trophies, signature architecture and branding. To get permission to build a tower you need signature architecture (acknowledged leading-edge design brands with cultural and political kudos). All parties are aware at the beginning that the trophy is the planning application. The brand charges a good fee because it knows it can get more area through the process of planning than others. (Maximum area and volume – despite declining net-to-gross efficiencies – gives what

I would term the 'gross gross' potential of the site). The brand can do so because it is generally accepted that it is more likely to produce a good building and addition to the skyline than others. The brand practice, therefore, must build out the trophy (writing its retention into the appointment documents) to ensure it is not built bastardised, damaging the brand. The brand deserves to get well paid, because its perception of the nature of the deal, resultant form and the city skyline is what will bring the project to fruition.

As a columnist I can offer another perception. That fees are often agreed for applications on submission; again on success; and again when the architect is not retained for the construction phase, or when the site is sold

on. I can assert that in many instances applications are made with all parties aware that the architect will not be retained for construction. In the worst cases, it might be recognised from the outset that the developer intends to build a super-sized, dumbed-down product that will get a similar rent, and the architect will publicly bleat about the bastardisation of the project while privately pocketing a healthy fee. This is the cynical view missed by the worst of the naive press, which

clamour for scandalous banner headlines yet say nothing new.

Either way, maintaining the quality of architecture is tough. My perception is that we should make deals wherever we can to strengthen our position, while simultaneously avoiding compromise. Architecture is a balance between making good buildings and good money; all architecture is to some extent commercial, but it is also about degrees of perception. My perceptions will be informed by whether I like the building, the architect, the client, the deal or any combination of the four.

That is the delight of perceptions; they can be swiftly resituated. The difficulty is that buildings can't.



Seifert: signature design

She has a sound business background but is Lorraine Baldry best suited to chair the Thames Gateway Urban Development Corporation?

Point one in a lesson (if it existed) of how to give the 'right' answers when being interviewed by an architectural journalist would be: do not reply to questions about the importance of good design with the fantastically vague response: 'I have not really given that much thought just yet.'

Based on this certainty, it can be gauged that the Office of the Deputy Prime Minister's normally effective media training programme does not include an architectural module.

How does the AJ know this? Because, rather extraordinarily, the new chair of the Thames Gateway Urban Development Corporation (UDC), Lorraine Baldry, managed to give exactly the wrong answer to this fundamental question.

It is almost impossible to emphasise just how unexpected this is. With almost every breath, ODPM ministers and press officers try to underline its commitment to architecture and design in its massive house-building exercise. There is no chance, they promise, that the Thames Gateway will end up looking like a homogeneous plain of red-brick Noddy-boxes.

And yet the powers that be (and we can only assume that they are headed by deputy prime minister John Prescott himself) have chosen as the chair of this super-planning authority an individual who has no background in architecture and expresses almost no interest in it when questioned.

What on earth can have bought about this situation? It seems that the major motivation behind Baldry's appointment is New Labour's slightly stale buzzword, 'delivery'.

Because if there is one thing Baldry does know about, it is delivering delivery. With an almost perfect business background, the former chief executive of the Prudential's property empire and boss of London property agent Chestertons, will almost certainly deliver the houses the South East is crying out for.

But what kind of houses? Could it be that this appointment has something to do with the recent Barker Report, the study commissioned by chancellor Gordon Brown into Britain's housing supply. The report advised that more houses were needed, but made very little of the quality of design.

Brown is known to want new homes and want them now. And he is hardly known as an aesthete or an architecture buff. If he had



Home delivery

any sympathy towards architects, he would have lowered VAT on brownfield development years ago.

So could it be that the former investment manager's appointment reflects more the Treasury's building rush than the ODPM's apparent commitment to quality buildings? Nothing that Baldry says during our 20-minute chat persuades me otherwise.

One thing, though is reassuring. She promises that there will be 'no repeat' of the London Docklands Development Corporation's policy of riding roughshod over both the policies of local authorities and the feelings of local people.

It is interesting that this seems to be the most on-message remark that Baldry summons up. 'We fully intend to work with the all the planning authorities in the Thames Gateway,' she says. 'We understand that local knowledge is all important and we also value the experience this brings.'

'Also, we are not going to be a large organisation and we will need to farm out much of the planning work back to the councils,' she says, sounding unconvinced. One wonders what the point of a UDC is, if it is going to allow planning authorities and councils to

make many of the decisions. Do I feel the creation of another pointless quango coming on, Mr Blair?

It transpires that the UDC's board will be made up of 12 members. Five will be from the local councils, one from the Greater London Authority, and the six remaining places will include Baldry herself.

So what does she hope this new planning body will achieve while she is around? 'What I do know is that there are a lot of areas that really need regenerating and many people that need homes. I want us to make sure these places are substantially improved.'

'I do not know the areas particularly well,' she says. 'But I have seen at first hand the way that regeneration can improve an area because I have lived in Islington for 30 years. It is unrecognisable from the place that I first moved to.'

This seems like a strange admission for someone who will have to both appeal to and appease the fine people of east London. Coming from the 55 year old, the word 'Islington' seems more like a statement of New Labour credentials than a convincing argument that she will understand the needs and aspirations of those who live in the

hinterland between the capital and Essex.

So back to the most pressing issue at hand. If Baldry does not have any background in, or, seemingly, an understanding of the key significance of good housing design, who will be taking charge of this most important area?

'We have not really decided that kind of thing yet. We are not even up and running. At the moment I am the UDC on my own as we have not appointed anyone else yet,' she stresses rather defensively.

'I want to ensure that we are a small organisation with a small staff. I would have thought that design advice is the kind of thing we will get from outside the set-up.'

Outsourcing architectural knowledge? Islington-style regeneration? Commercial property experience? Concerns about these questions remain sadly unanswered as the 20-minute slot comes to its end.

Surely the government will not allow the Thames Gateway to become yet another sea of little red boxes, so beloved of developers in the 1980s and 1990s? Only one thing is certain, Baldry's appointment seems to point in that direction.

Ed Dorrell



Of a peer-to-be and a guru's car, of economists and wives of kings

People say that celebrity is a matter of luck, but I think it is pure judgment. Take the case of me. In the 1960s I lived next door to Jeffrey Archer (as he then was) in a cobbled Paddington mews. His wife Mary even looked after our cat, General Motors, when we went away on weekends. I have never revealed this interesting fact before.

However, a few weeks ago I did confess to once having been given a car by Rem Koolhaas! If only I had kept the car, readers wrote – if only I had kept the car! Even if it was an ancient Ford station wagon (as far as I can remember), of what seemed to me then to be of enormous size, albeit with large rust holes in its fenders that had been inexpertly covered with black tape. I hear you gasping with disbelief, could this really have been the personal transport of the guru Rem Koolhaas? Yes, I swear it was, until it was briefly mine and thereafter went to the crusher unmoored.

Anyway, after those two episodes, I prudently kept a low profile on the celebrity front, waiting my chance while living a life of such privacy as is only possible in the English countryside.

And then, bang! It happened again. This time the celebrity was a man called Steven Nickell. He wasn't a celebrity at the time, and of course he did not give me a car, but he did sell me a house, an act of greater importance, in retrospect, than seemed possible at the time.

We need to go back to the property slide of the early 1990s to explain this conundrum. At that time Steven Nickell was a professor of economics at Oxford University living in a small village north of the city and so desperate to sell his house and six acres of land that he dropped the price by a whacking great one eighth of the asking price for a quick sale. Of course, all this was

12 years ago and of no consequence, or at least it would have been of no consequence had professor Nickell not subsequently been appointed to the Bank of England's monetary policy committee, in charge of setting interest rates and, most importantly, had he not entered the celebrity stakes himself by giving an exclusive interview to *The Times* last month on the subject of swingeing mortgage interest rate increases and the unlikelihood of their return in the near future.

Now a quick leap back to 1987 for my last celebrity encounter – the Queen.

Well, not the Queen of England, I have to confess, but a real reigning monarch nonetheless, Queen Noor of Jordan, eldest daughter of the president of Pan American Airways and a graduate of the school of architecture and urban planning at Princeton University.

My encounter with this impressive figure took the form of an interview for the *Guardian* which took place in London, in King Hussein's house near Kensington Palace.

It lasted only 45 minutes, little of which had elapsed before I understood that Lisa Najeeb Halaby was not simply an American college girl who had studied architecture and married a king. At that time she was an ambassador from the Arab world to a homeland that is not noted for its sympathy with Arab causes.

'There is not much funny about Queen Noor', I mused

when considering the flippant tone of this column so far, but my wife came to my rescue. 'Noor is a funny name, she suggested, what does it mean?' It means 'Light', and Noor Al Hussein means 'Light of Hussein', I said.

For many years this was the sum of my celebrity knowledge.

'My interview lasted only 45 minutes, little of which had elapsed before I realised she was not simply an American college girl who had studied architecture and married a king'

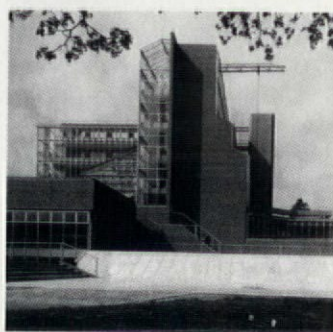
Stephen Fisher

Pollard Thomas Edwards

When and where were you born?
1955, Blackpool.

What is your favourite building and why?

James Stirling's History Faculty, Cambridge.



What is your favourite restaurant/ meal?

Club Gascon, Smithfield, London – decline the menu, and be surprised by the set five courses.

What vehicle(s) do you own?

In my dreams a TVR, in fact a family VW Golf and a folding bicycle.

What is your favourite film?

Brazil.

What is your favourite book?

The AJ, with AR second!

What is your favourite 'design classic'?

The Georgian house.

What is the worst building you've ever seen and why?

The Angelis apartments, Graham Street, Islington, across the road from Angel Waterside. A huge mismatch of value and design.

Who or what is your biggest architectural influence and why?

Russell Waldren, my Part 1 tutor, a Kiwi in the style of Gordon Ramsay.

Who is the most talented architect you've worked with?

Bill Thomas, a founding partner of PTE, who does not accept 'can't'.

If you hadn't been an architect, what would you have been?

Rich and famous.

What would your advice be to architectural students?

It is not easy, and if it is, you are not trying hard enough.

What would your motto be?

Keep cool, even if you don't feel it.



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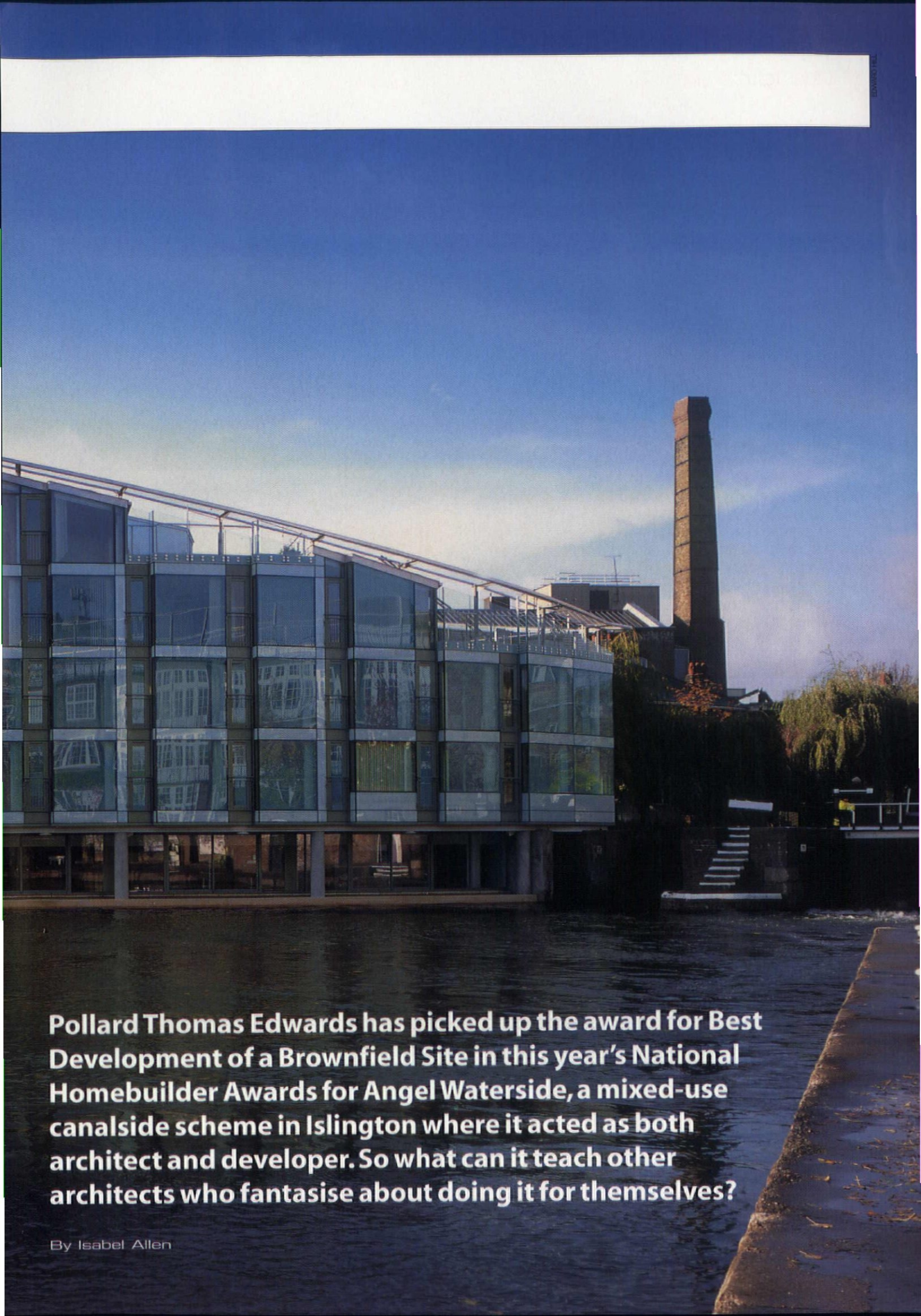
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Developing an interest



Pollard Thomas Edwards has picked up the award for Best Development of a Brownfield Site in this year's National Homebuilder Awards for Angel Waterside, a mixed-use canalside scheme in Islington where it acted as both architect and developer. So what can it teach other architects who fantasise about doing it for themselves?

By Isabel Allen



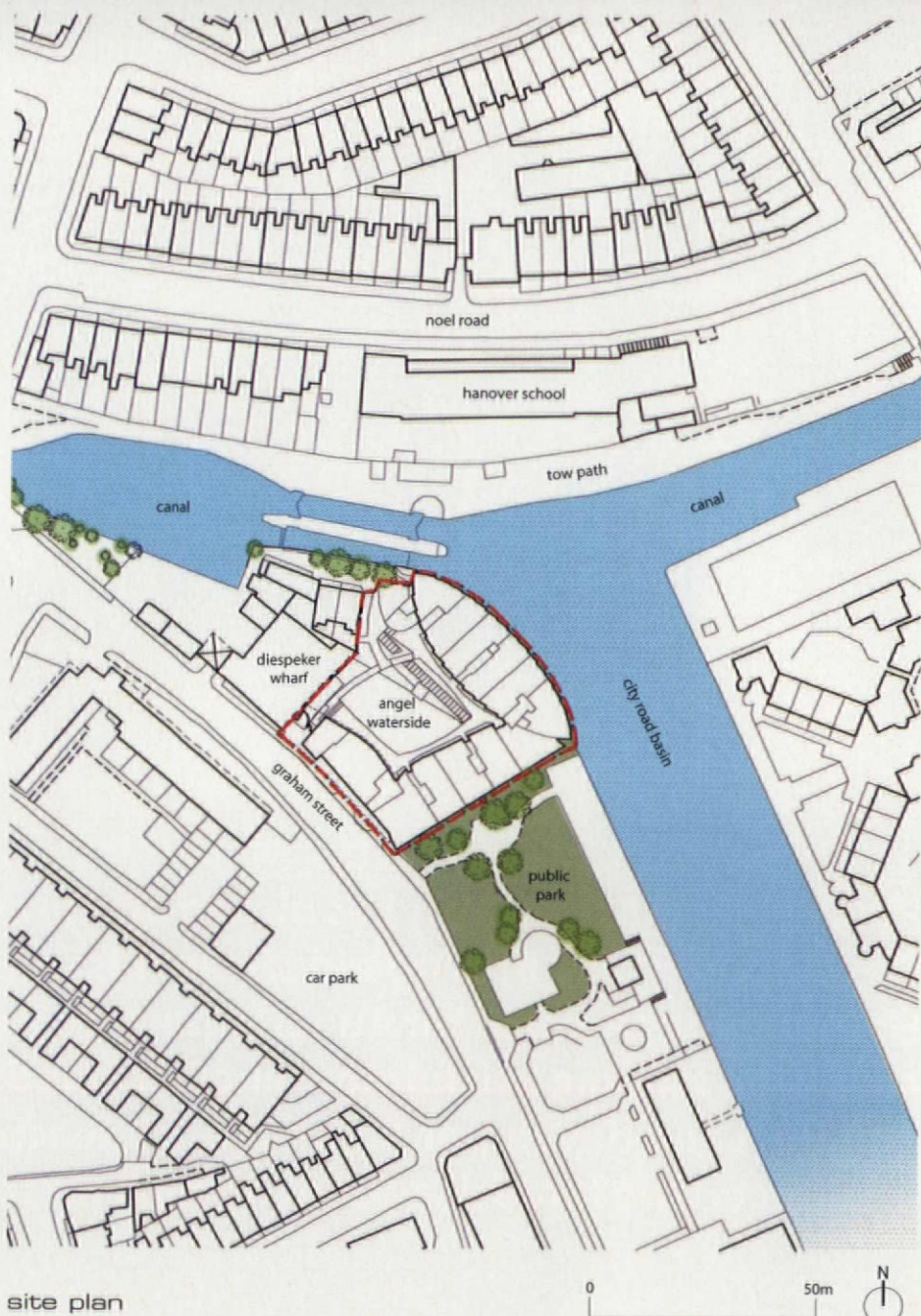
**DON'T NEGLECT YOUR OWN PROJECTS
WHEN YOU ARE BUSY – TREAT THEM WITH
THE SAME PROFESSIONALISM THAT YOUR
OUTSIDE CLIENTS EXPECT.**

Pollard Thomas Edwards' (PTE) foray into development started in 1981 – two years after the RIBA relaxed the Professional Code of Conduct to allow architects to form separate developing companies.

It has since created a series of single-project companies owned by PTE directors and, on occasion, external partners*. These are always legally separate from PTE architects and, while the former employs the latter, the terms are always defined by contract and are subject to standard fees. The potential for conflict of interest makes it essential that all parties are clear about their particular role.

At Angel Waterside, the inevitable opportunities for client/architect tensions were further complicated by the fact that PTE staff took some of the project's commercial space, hence putting PTE in the absurd position of looking for the lowest possible price and the maximum possible yield on the same piece of real estate. The fact that PTE entered into a partnership with Groveworld as joint development partner put additional pressure on PTE to be disciplined about sticking to market rates, and to demand the same level of commitment and service from PTE architects as would be expected by any professional client.

**There are tax and liability advantages in isolating each development as a stand-alone company, but credit and guarantee advantages to having a continuing holding company with a reasonable asset base – PTE is establishing a structure to allow it to take advantage of these benefits.*



site plan

**ARCHITECTS ARE ETERNAL OPTIMISTS –
DON'T LET IT CLOUD YOUR JUDGEMENT
AND REMEMBER THAT MONEY IS THE
ONLY 'BUILDING MATERIAL'.**

On the one hand, the ability to see potential – and therefore profit – in unlikely places is the key advantage architects have over conventional developers. PTE has tended to favour difficult sites with complex planning, technical and legal issues, where others might shy away from the risk. And with the breezy optimism at which architects excel, it cheerfully classifies physical chaos as 'richness of context'.

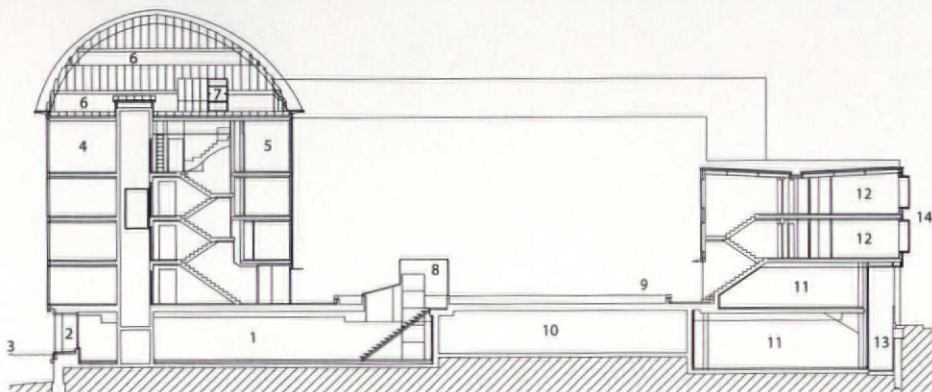
While it now seems glaringly obvious that the Angel Waterside site, with its three-way views along the canal, presented a prime opportunity for high-class residential development, the potential of the area had long been overlooked. The site sits in City Road Basin, a 1.6ha area at the head of the Regents' Canal, which was somehow ignored in the reinvention of Britain's industrial infrastructure as picturesque amenity. Desultory attempts to develop the area were – both physically and qualitatively – best described as patchy.

The area's renaissance did not really kick off until 1994, when PTE demonstrated a leap of faith by converting Diespeker Wharf, a Grade II-listed late Victorian gatehouse, into its own offices. From the outset, the project was conceived in terms of a wider strategy for the area which sought to combine the historic fabric with sensitive contemporary development: canal cottages which occupied the site were restored, and semi-derelict outhouses were cleared to make way for a waterside garden. This visionary thinking was undoubtedly a factor in PTE's success in the 1998 competition, organised by British Waterways, to develop what is now known as Angel Waterside, on the site of a former timber merchant's warehouse immediately adjacent to Diespeker Wharf – a classic case of optimism and imagination paying off.

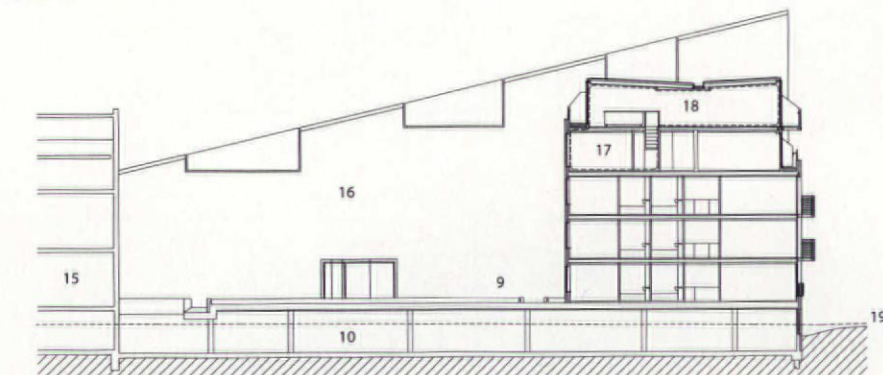
The flipside is that, having invested so much dreaming time, it can be extremely difficult to walk away. Since it is virtually impossible to obtain finance for any project prior to obtaining planning permission, PTE tends to seed fund its ventures from cash assets built up over the years.

At Angel Waterside – a complex development of 57 apartments plus courtyard, parking and commercial space – pre-construction costs amounted to close to £1 million, all of which were shouldered by co-developer Groveworld and PTE.

Although bank finance can generally be obtained once the future of the project is assured, it is rarely sufficient to cover the whole cost of the project. This is the moment to decide as to whether or not to sell the site – never an easy choice.



section aa



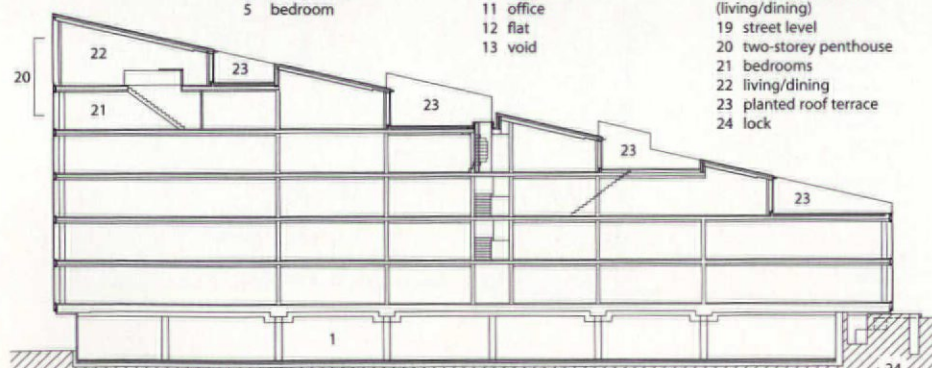
section bb

KEY

- 1 canalside office
- 2 canal walkway
- 3 water level
- 4 living room
- 5 bedroom

- 6 roof terrace
- 7 sun room
- 8 glass entrance cube to office
- 9 landscaped courtyard
- 10 car park
- 11 office
- 12 flat
- 13 void

- 14 graham street
- 15 diespeker wharf
- 16 canalside flats
- 17 lower level duplex
- 18 upper level duplex (living/dining)
- 19 street level
- 20 two-storey penthouse
- 21 bedrooms
- 22 living/dining
- 23 planted roof terrace
- 24 lock



section cc

**DON'T LET GREED TARNISH YOUR
ARCHITECTURAL REPUTATION – IT IS
YOUR MOST PRECIOUS ASSET.**

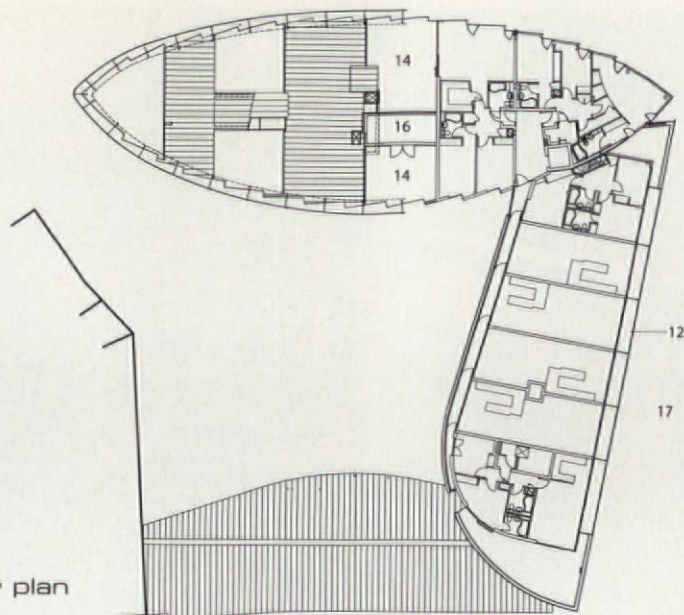
The development at Angel Waterside was driven by the desire to create the appropriate architectural solution for this highly idiosyncratic site. The combination of diverse listed neighbours, mature landscape and water frontage prompted a proposal of three distinct blocks: a low terracotta-rendered terrace on Graham Street; a brick-faced 'palazzo' style building topped by double-storey penthouses which enjoy southerly views over the Basin and adjacent park; and 'Crystal Wharf', a glass 'jewel' on the waterfront, rising from two storeys to a seven-storey 'prow', its sloping roofscape of planted terraces clearly visible to passers-by.

These three buildings, together with Diespeker Wharf and an existing two-storey lock-keeper's cottage, form a setting of diverse age, scale, material and form, organised around a central landscaped courtyard. Parking is in the basement, while most of the 1,500m² of office space is at canal level, with a fully glazed facade providing close-up water views. A small two-level office, with glazing onto the street and a covered link to Diespeker Wharf, is currently occupied by PTE staff.

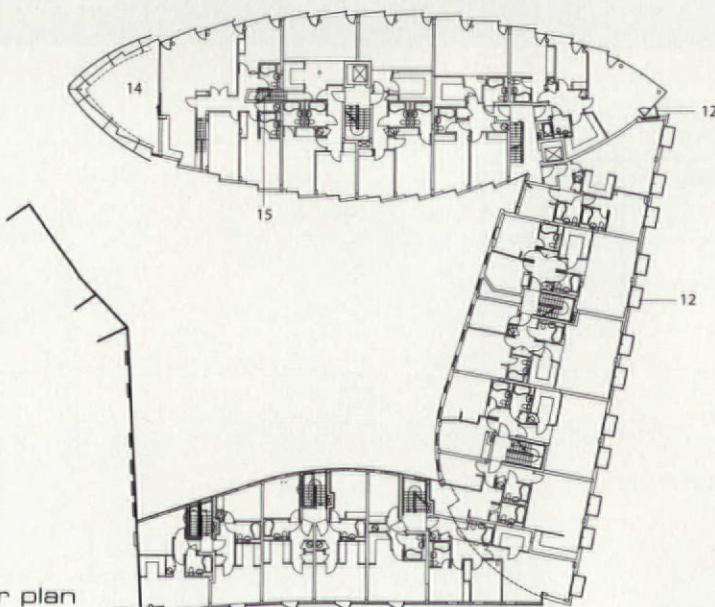
The result is a successful piece of urban design which knits together the disparate surroundings, and provides a stimulating environment in which to live and work. A more single-mindedly commercial developer might have been tempted to overlook such subtleties in favour of the single-statement building.

The obligatory 'wow' factor is provided by Crystal Wharf. It has become the flagship for the development's sales operation, and is the one aspect of the scheme which alerts suspicions that PTE may have 'gone native', falling into the classic developer's trap of opting for the one-liner statement building designed with the marketing brochure in mind. But in fairness, a little scrutiny suggests a sophisticated design process. High-performance glazing with low heat-transmission glass means that the fully glazed living-room facades on the canal side are compatible with a highly insulated building envelope and so not as wilful as they appear. The sawtooth facets which seem to fit in rather too neatly with the name Crystal Wharf are, in fact, much more than simply an off-the-peg design quirk; they scoop in the southerly sun on what is an easterly facade, capture views up and down the basin and, on the courtyard side, maintain privacy between neighbouring facades. The planted roof terraces are part of a wider urban strategy; planting will eventually cascade down the roof, connecting with planting already established to create a continuous 150m-long multi-level waterside landscape.

fourth floor plan



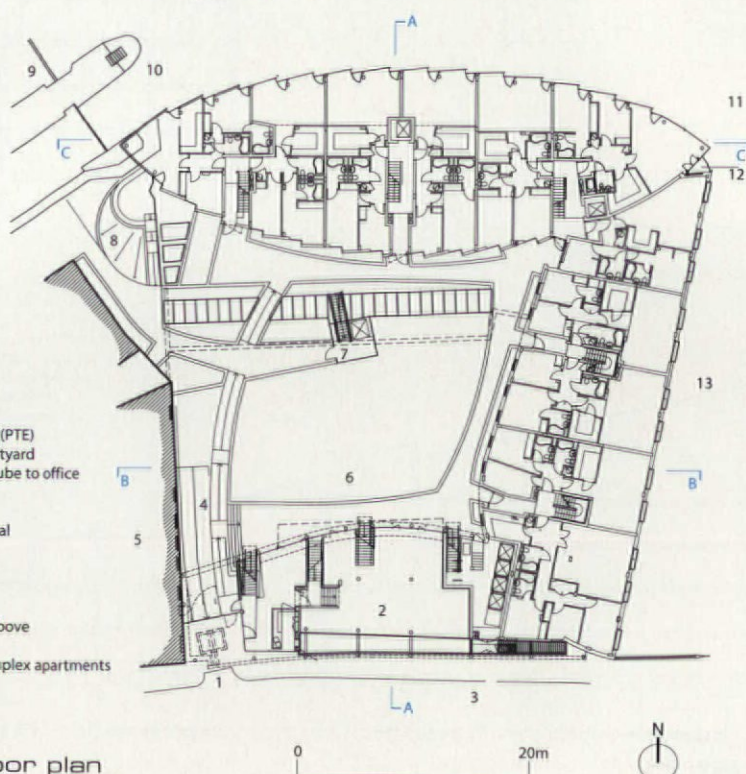
second floor plan



KEY

- 1 entrance
- 2 office
- 3 graham street
- 4 ramp
- 5 diespeker wharf (PTE)
- 6 landscaped courtyard
- 7 glass entrance cube to office
- 8 sunken garden
- 9 lock gates
- 10 grand union canal
- 11 city road basin
- 12 balcony
- 13 park
- 14 terrace
- 15 stair to terrace above
- 16 sun room
- 17 upper floor of duplex apartments

ground floor plan

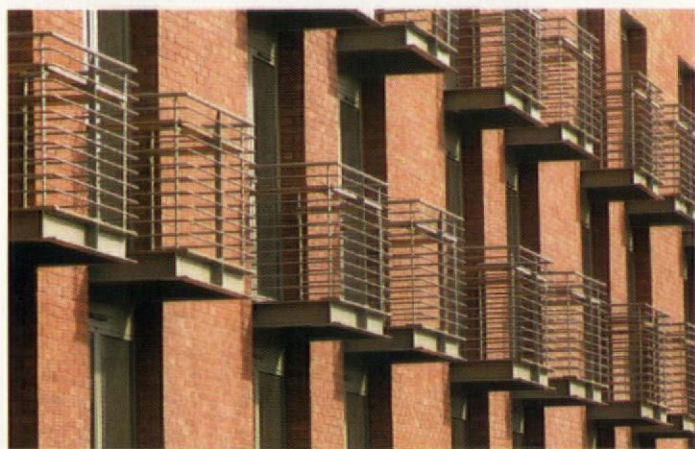




ROGER HOLDSWORTH

DON'T BE GREEDY – TAKE PARTNERS TO SPREAD THE RISKS AND REWARDS AND TO INCREASE YOUR CREDIBILITY AND RANGE OF SKILLS.

At Angel Waterside, the decision to team up with Groveworld was a reflection of the fact that the project was simply too big to handle on its own. The fact that the project is conceived in terms of an ultimate wider vision for the area has made it particularly important to forge close links with the landowner, British Waterways, local planners, residents and the owners of surrounding patches of land. PTE has already embarked on the next stage of the City Basin regeneration with a mixed-use mixed-tenure development at City Wharf due to start on site this year, but is well aware of the degree of collaboration which will be necessary if individual development projects are to be integrated into a coherent masterplan. The success of plans for a linear park around the Basin, with the canalside walkway at Angel Waterside becoming a public right of way linking the park to City Road lock and the towpath beyond, will depend as much on harnessing and coordinating enthusiasm and effort as on raising the necessary funds.



PETER STROBEL



PAUL TYAG



EDMUND SUMNER

Top: junction between the new development and Diespeker Wharf. Centre left: balconies take advantage of southerly park views. Centre right: the glass cube marks the entrance to the office space. Above: Crystal Wharf, restored canal cottages and Diespeker Wharf as seen from the towpath



PAUL TYAGI

FINALLY, DON'T UNDERSELL YOURSELF – YOUR SKILLS HAVE A SOLID COMMERCIAL VALUE.

While it is easy to feel like amateurs in a developers' world, it is always worth bearing in mind that the entire development sector is buoyed up by key architectural skills: the ability to increase the value of sites by optimising the quality and quantity of accommodation, and the ability to steer proposals through the intricacies of the planning system.

In theory, the increased control which comes from doubling up as client should give architects/developers a free rein to take full advantage of these strengths. Certainly the close understanding and communication between architect and client have contributed to the success of architecture. It is difficult to speculate how a more conventional scheme would have compared in commercial terms. But with total construction costs of £9 million, a sales value of £21 million and more than 85 per cent of the accommodation now sold, it is fair to say the sums have added up.

But while it is important to keep sight of the commercial worth of your own skills, it is essential not to confuse architectural and market knowledge. On the day of my visit to Angel Waterside with PTE's Stephen Chance, we were confronted by a woman, dressed like an extra from *Dynasty*, who had been charged with the task of 'dressing' the penthouse in a bid to make it easier to sell.

Chance did not bat an eyelid when the 'dresser' patiently explained that the introduction of an outsize shower curtain meandering through the open-plan space (and obscuring panoramic views) would provide privacy and cosiness to counteract the intimidating impact of so much space and glass. Clearly, he has learned that there is a point at which you have to let go.



PAUL TYAGI

Top floor living area of the two-storey penthouse at the prow of Crystal Wharf. Full-height glazing offers panoramic views (top), and there is access to a roof garden at the rear (above)

Costs

Based on final account, for gross internal area

SUBSTRUCTURE

FOUNDATIONS/SLABS £155.86/m²
Approx 2.5m of site excavation. Contiguous piled wall to retain boundary to site. Foundations generally pile, pile caps and ground bearing slab. Underpinning to adjacent building. Drained cavity waterproof system to walls and basement slab adjacent to canal below canal water level. In situ waterproof concrete slab and walls to some areas

SUPERSTRUCTURE

FRAME £31.74/m²
Concrete frame with steel frame to top floors

UPPER FLOORS £46.12/m²
Reinforced concrete 200mm flat slab to upper floors

ROOF £32.33/m²
Terne-coated standing-seam stainless steel or insulated sandwich panels

STAIRCASES £24.87/m²
Reinforced in situ concrete stairs with metal balustrade and timber and stainless steel handrail. Metal stairs with slate infill treads to commercial areas

EXTERNAL WALLS £35.03/m²
Through-colour acrylic render on insulation on blockwork. Through-colour acrylic render on insulation on metal framed wall panels. Brick/block cavity construction with fully filled insulated cavity. Low-reflection standing-seam zinc on insulated timber wall panels

WINDOWS, ROOFLIGHTS, EXTERNAL DOORS £189.92/m²
Aluminium structural glazing system with silicone joints externally and glass spandrel panels. Aluminium thermally broken polyester powder-coated casement windows. Low emissivity coating to all glass

INTERNAL WALLS AND PARTITIONS £40.72/m²
215mm concrete block party walls. Metal stud internal partitions

INTERNAL DOORS £18.98/m²
Anegre veneer internal doors with vision panels where required

INTERNAL FINISHES

WALL FINISHES £29.71/m²
Plastered walls and plasterboard finish to partitions. Tiling to bathroom areas

FLOOR FINISHES £26.81/m²
Reinforced screed on resilient layer to residential units. Fully accessible raised floor to commercial areas. Brathay blue/black slate floor to concierge area

CEILING FINISHES £25.75/m²
Suspended painted plasterboard ceilings

FITTINGS AND FURNISHINGS

FURNITURE £89.83/m²
Stainless steel door furniture. Lacquered/stainless steel kitchen units

SERVICES

SANITARY APPLIANCES £49.16/m²
Wall-hung white vitreous china WC with concealed cistern and push plate flush. Countersunk basin with integral vitreous china vanity top

SERVICES EQUIPMENT £32.21/m²

DISPOSAL INSTALLATIONS £18.34/m²
Stainless steel gutters, plastic internal rainwater pipes

WATER INSTALLATIONS £42.75/m²

SPACE HEATING/AIR TREATMENT £42.30/m²
Panel wall heaters, underfloor heating, comfort cooling/heating to penthouse flats

ELECTRICAL SERVICES £64.70/m²
Power, lights, heating

LIFT AND CONVEYOR INSTALLATIONS £15.23/m²
Passenger lifts to communal stair cores

PROTECTIVE INSTALLATIONS £4.96/m²

COMMUNICATION INSTALLATIONS £11.98/m²
CCTV installation. Video entry phone, alarm system. Satellite/aerial installation

BUILDERS' WORK IN CONNECTION £9.05/m²

EXTERNAL WORKS

LANDSCAPING, ANCILLARY BUILDINGS £24.91/m²
Intensive roof system (green roof supporting

recreational use paving, etc) to courtyard landscaping, lightweight soil, drainage layer, waterproof membrane

PRELIMINARIES AND INSURANCES

PRELIMINARIES, OVERHEADS AND PROFIT £235.01/m²

COST SUMMARY

	Cost per m ² (£)	Percentage of total
SUBSTRUCTURE	155.86	12.01
SUPERSTRUCTURE		
Frame	31.74	2.44
Upper floors	46.12	3.55
Roof	32.33	2.49
Staircases	24.87	1.92
External walls	35.03	2.70
Windows, rooflights, external doors	189.92	14.63
Internal walls and partitions	40.72	3.14
Internal doors	18.98	1.46
Group element total	419.71	32.33
INTERNAL FINISHES		
Wall finishes	29.71	2.29
Floor finishes	26.81	2.06
Ceiling finishes	25.75	1.98
Group element total	82.27	6.34
FITTINGS AND FURNISHINGS	89.83	6.92
SERVICES		
Sanitary appliances	49.16	3.79
Services equipment	32.21	2.48
Disposal installations	18.34	1.41
Water installations	42.75	3.29
Space heating and air treatment	42.30	3.26
Electrical services	64.70	4.98
Lift and conveyor installations	15.23	1.17
Protective installations	4.96	0.38
Communication installations	11.98	0.92
Builders' work in connection	9.05	0.69
Group element total	290.68	22.39
EXTERNAL WORKS	24.91	1.92
PRELIMINARIES/INSURANCE	235.01	18.11
TOTAL	1,298.27	100

Cost data provided by Groveworld

CREDITS

TENDER DATE
January 2001
START ON SITE DATE
June 2001
BUILDING CONTRACT DURATION
74 weeks
GROSS INTERNAL FLOOR AREA
6,844m²
CONTRACT
Single stage D&B
TOTAL COST
£8,885,364
CLIENT
Pollard Thomas Edwards architects and Groveworld
ARCHITECT
Pollard Thomas Edwards architects: Stephen Fisher, Roger Holdsworth, Chris Davy, Sarrah El-Bushra, Bill Thomas
STRUCTURAL ENGINEER
Alan Conisbee & Associates
SERVICE ENGINEER
The Kut Partnership
QUANTITY SURVEYOR
EC Harris
LANDSCAPE ARCHITECT
Whitelaw + Turkington
MAIN CONTRACTOR
Haymills
SUBCONTRACTORS AND SUPPLIERS
Structural curtain walling Schüco; curtain wall installation Dane Architectural Systems; windows Smart Systems;

window installation William Verry; brickwork Freshfield Lane Bricks; bricklayer Fieldcrown; render Sto; render installation Harrison Render Systems; roof covering installation Metalex; insulated roof panels CPL Fireliner; flat roof membrane Alumasc Hydrotech; roof membrane installation M&J Roofing; piling Cementation Skanska; passenger lifts Schindler; stair lifts Thyssen; external cleaning rails and cradle Power Access; M&E The Aqua Group; electrical fittings MK; carpet tiles Heckmondwike; precast concrete floors Millbank Floors; structural steelwork Shipley Fabrications; in situ concrete superstructure A J Morrisroe; architectural metalwork Crane and Rowbury; metal planters Popper & Carter; access floors Kingspan; slate flooring Kirkstone; external hard landscaping Marshalls; door ironmongery Fusion from John Planck; sanitaryware Duravit, Ideal Standard, Grohe; external lighting Holophane; soft landscaping East Sussex Landscapes; kitchen units & wardrobes A&H Contractors; kitchen appliances AEG Electrolux; electric panel heaters Photon Campa from Chatsworth Heating; comfort cooling and heating Daikin; door access controls, CCTV Wright Security; stainless steel mesh Potter and Soar; drained cavity waterproof membrane Grace Serviced

WEBLINKS

Pollard Thomas Edwards architects
www.ptea.co.uk
Alan Conisbee & Associates
www.conisbee.co.uk
The Kut Partnership
www.kut.co.uk
EC Harris
www.echarris.com
Whitelaw + Turkington
www.wtlandscape.com
Haymills
www.haymills.com

What's the alternative?

There is no set formula for successful development. A look at the process behind some of PTE's other projects shows that flexibility is key to achieving results

ST JUDE'S AND ST PAUL'S SCHOOL, LONDON N1

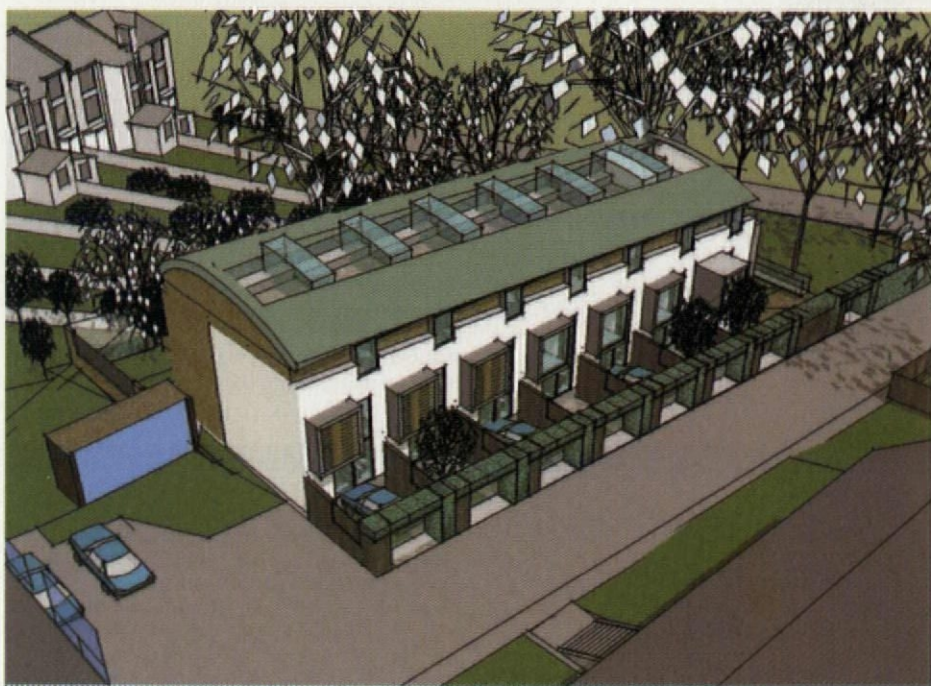
THE PROJECT

A primary school and 24 apartments are contained in a single complex on an awkward triangular site in Islington bounded by a railway, a historic Jewish burial ground and a council estate. The new school consists of an in situ concrete classroom block containing seven south-facing classrooms which open onto a semi-covered garden space, and a steel-framed wing containing a large sports/assembly hall. There is also a roof garden, staff offices, library and playground. The apartments are built above the classrooms, providing a mix of one, two and three bedroom flats including two family-sized flats which are specifically designed for wheelchair users. The residential accommodation has a separate entrance from the school, and bedrooms and living areas face south in order to minimise the impact of noise both from the school and from the nearby railway line. The project has a construction cost of £4 million and is due for completion this month.

THE PROCESS

PTE bought a site adjoining St Jude's and St Paul's Junior School to honour a Section 106 planning commitment to Islington council to provide social housing within the borough boundaries, linked to the Angel Waterside development. Since the school was struggling to run its operation from a substandard building and two different sites, PTE spent two years trying to find a way of pooling resources to use a single site to provide the necessary housing and improved amenities for the school.

PTE/Groeworld is the sole developer, acting as employer under one building contract, with PTE Architects as project architect. While the school received the enlarged site at a nominal cost well below market value, the flats have been bought by the ISHA Housing Association, also at a subsidised price.



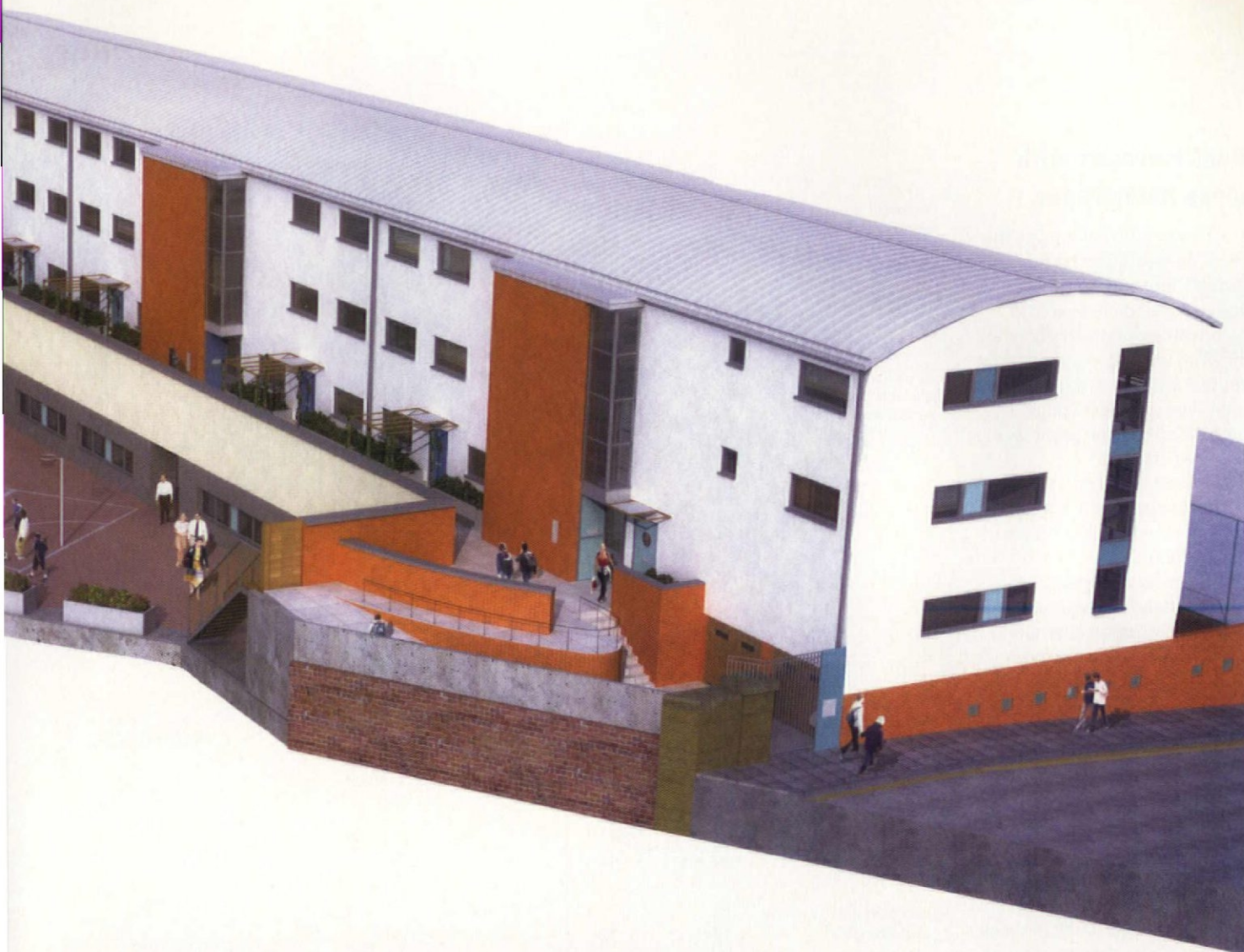
CONNAUGHT GARDENS, LONDON N10

THE PROJECT

The smallest project in PTE's portfolio, this project is for a contemporary terrace of seven four-bedroom townhouses on the footprint of a former building on a tranquil green site near Highgate Wood. The garden elevation is covered with timber shingles to reflect the woodland, and the lower ground floor living rooms open onto landscaped gardens to the rear. A large woodland garden to the end-of-terrace house protects the privacy of existing neighbours. The project is currently in for planning.

THE PROCESS

PTE regularly scans auction catalogues, which is how it discovered that this site, close to the home of one of PTE's directors, was going to auction in November 2003. Having spent the weekend carrying out an appraisal on the site, PTE, with joint-venture partner Guild Developments, put in a successful bid on the following Monday, acquiring the site for £1.5 million.



OLD FORD ROAD, LONDON E3

THE PROJECT

A previously contaminated industrial site next to the Hertford Union Canal and Victoria Park developed into a high-density development of five four-storey blocks, containing 92 homes, and a row of mews houses. In design terms, there is no distinction between the 37 units rented by tenants of nearby HAT estates and those which were sold on the open market – with first refusal and discounts for HAT residents. All of the homes have balconies or terraces and angled bay windows to catch the afternoon sun, and 90 per cent of them enjoy views of the canal and park. The project, which had a construction cost of £4.5 million, was completed in 2001.

THE PROCESS

PTE responded to an open public competition held by one of its existing clients, the Tower Hamlets Housing Action Trust (THHAT), to select a development partner to design, finance and construct a project for a mixed-tenure housing scheme. PTE property was selected on the basis of a design and financial offer in partnership with Southern Housing Group. PTE steered and funded the project through a difficult planning process and up to the point of instigation of a multi-party development agreement. At this stage, with THHAT's agreement, it transferred its 'developer' interest to Berkeley Homes and continued as architect on the project.

Roof terraces with glass balustrades

The new building, alongside the canal, houses offices on the ground floor and apartments above. It is a pointed ovoid in plan, with a roof which slopes at 13° from seven storeys high at its south-east point to three storeys high at its north-west point. The frameless glazed facade is set in saw-tooth facets to accommodate the curve.

The main structure is a concrete frame with concrete flat slab floors.

The top floors consist of a series of steel framed double-height living rooms alternating with terraces. The living room roofs slope 13°, clad with terne-coated stainless steel.

The alternating terraces and sloping roofs are unified by a continuous screen of stainless steel mesh which runs above the roof edge and follows its slope.

It is fixed to steel support arms and is designed to encourage plants to climb, creating a natural enclosure to the terraces.

The mesh is cleated to a series of tapered 178 x 203mm T-shaped support arms (cut from 203 x 203mm UBs) which in turn are bolted to 168mm diameter CHS columns at the edge of the roof.

A rail, fixed with brackets to the ends of the T-shaped arms, supports the travelling motor to the cleaning cradle.

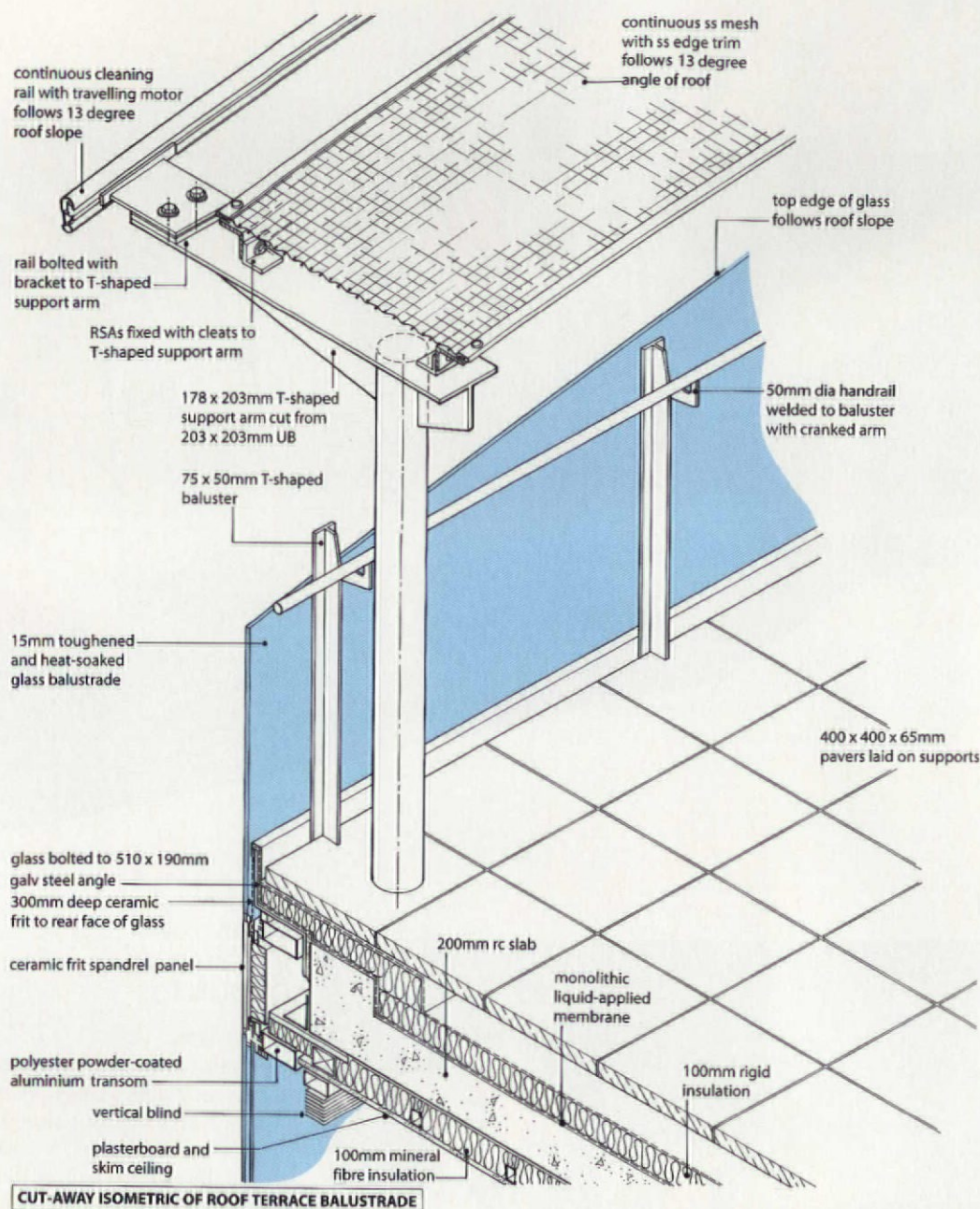
The transparency of the facade is emphasised by extending it upwards as a balustrade to the terraces.

The balustrade panels are structurally bolted at their bottom edges and fritted to conceal the floor slab; the top edges of the glass slope to follow the line of the roof.

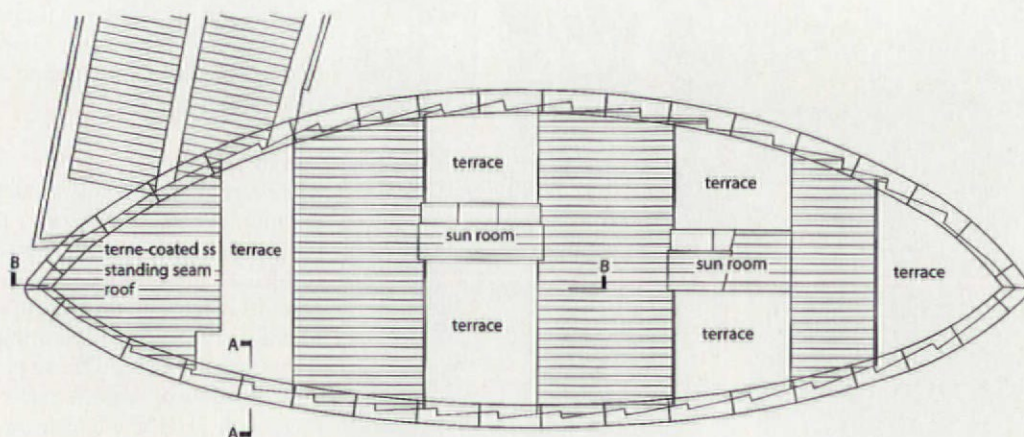
The glass is protected by a 50mm diameter handrail welded to 75 x 50mm T-shaped balusters with cranked arms.

Where the balustrade slopes below 1,100mm the balusters are fitted with 3mm stainless steel cables.

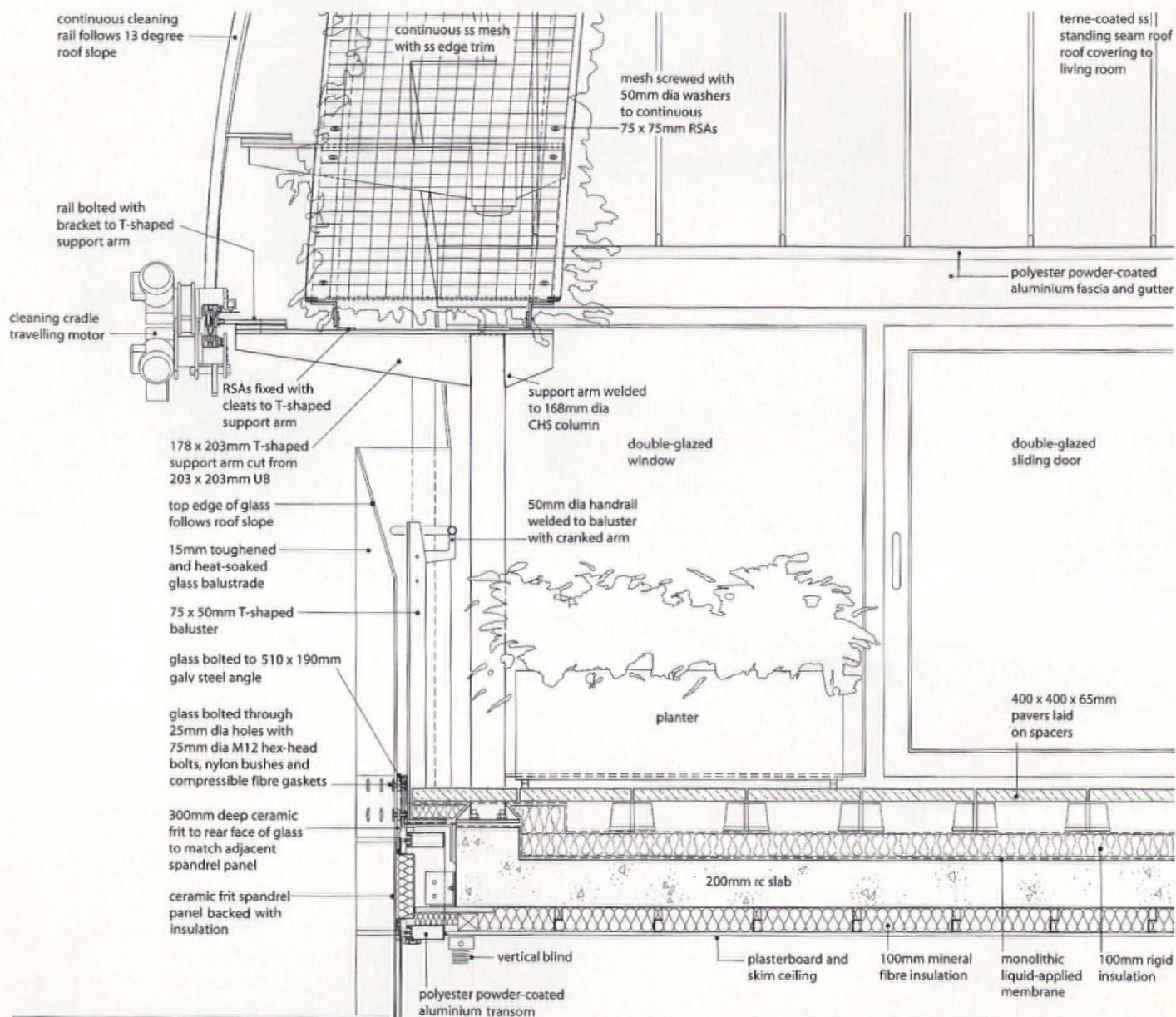
Susan Dawson



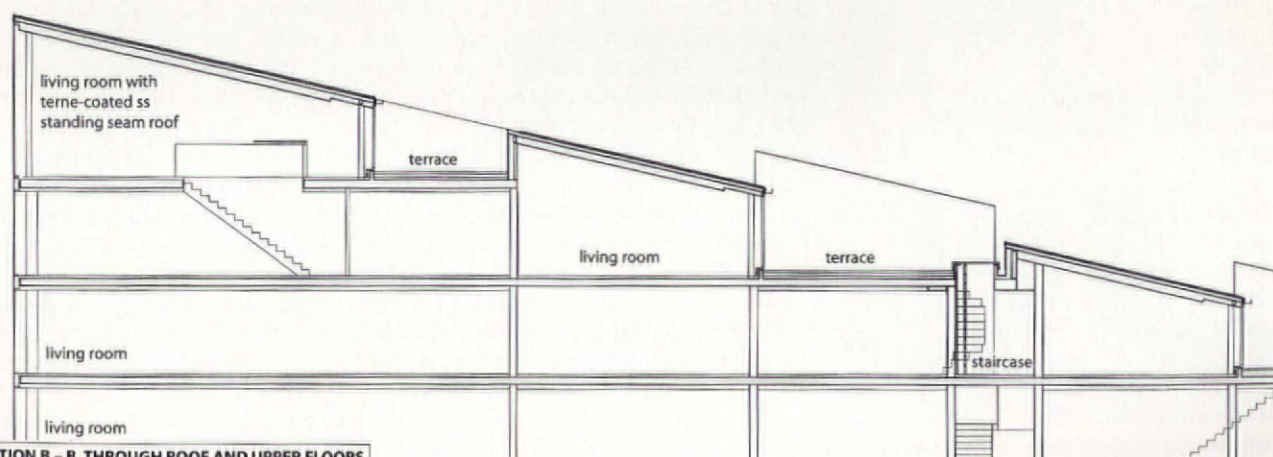
CUT-AWAY ISOMETRIC OF ROOF TERRACE BALUSTRADE



KEY PLAN OF ROOF



DETAIL SECTION A - A THROUGH EDGE OF ROOF TERRACE



KEY PART-SECTION B - B THROUGH ROOF AND UPPER FLOORS



Flying high

Building any modern housing in Kensington & Chelsea is something of an achievement. Alan Power Architect's project for gullwing houses takes flight

By Barrie Evans



Set-back behind screen wall shields the houses from many passers-by and makes space for steps

While the local regime may be architecturally conservative, the locale is more varied. This pair of houses is on Portobello Road, itself more associated with its vibrant, multicultural market. Climbing up the hill from this, the road shades into more exclusive antique shops and finally into a quiet residential area. Most of the immediate houses are small urban cottages (about, say, 75m²), then beyond, five-storey mansions, with nothing much in-between. The architect is building a pair of houses of about 200m² each.

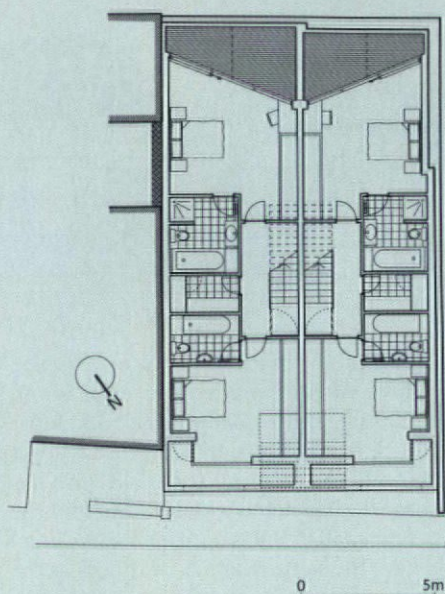
The site already had a planning permission for residential use when this architect started; the architect went back for another. The site is immediately between a chapel used as a nursery school and a vehicular access to another site. The site's previous occupancy was a 1950s commercial building

— so not a formal terrace context to fit into.

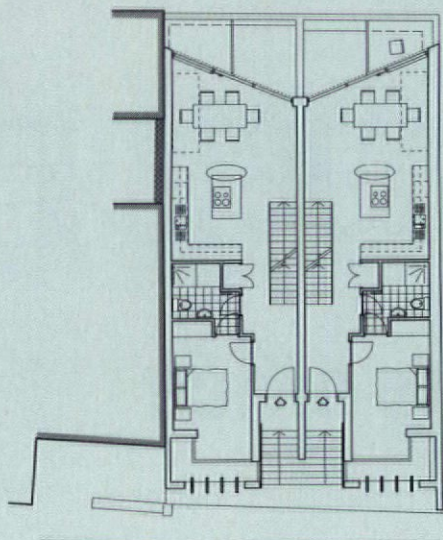
Despite concerns raised by local amenity groups and a somewhat sceptical planning committee, the objections at the first planning committee meeting focused mainly on materials. For example, should not the proposed polished-plaster entrance be of second-hand stocks and the fritted first floor balustrade be wrought-iron railings?

The architect went back to the committee a second time with a box of material samples, including a specially made mock-up of a structural glass corner. With the help of supportive planning officers, planning permission was granted. The project is now on site.

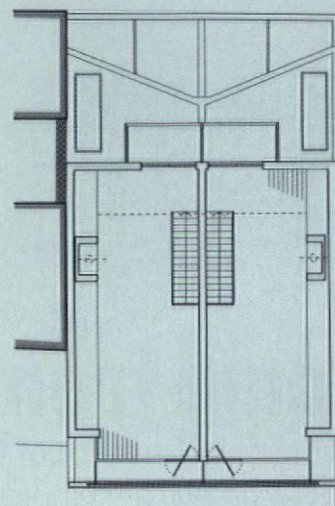
The site is tight for this amount of development. Flank walls are solid party walls. To the rear there are a couple of metres before the neighbours' back garden wall. There is no space for car parking. The building is tight to the street, so will have a framed screen wall with timber panels before steps up to the entrance to create a bit of distance from the many market-bound passers-by and the parents and children from the nursery who gather on the pavement outside. To achieve three storeys, they have dug down about 1.5m, supporting one flank wall with steels and underpinning the chapel wall, creating space for a lower-ground bedroom floor. The



lower ground floor



upper ground floor



first floor

upper ground (entrance) level will have a bedroom/study at the front plus kitchen and dining space beyond. A neat touch is canting the rear wall of the house so that there should be a little less sense of staring out onto the rear boundary wall. Tall plants are planned.

The main drama will be the open-plan first floor with its gullwing steel frame, its columns on the party wall between the two houses, which will provide cantilevered support to the roof and surrounding column-free structural glazing. The fritted balustrade at the front will help provide privacy from the street; the planning permission does not allow the shallow balcony/set-back to be designed as a front sitting-out space, though there are to be centre-pivoted glass doors onto it.

Daring to be different has paid off here, a promising design by the architect and a credit to the small developer, Mandeville Estates, in what is its first speculative new-build scheme.

CREDITS

CLIENT

Mandeville Estates

ARCHITECT

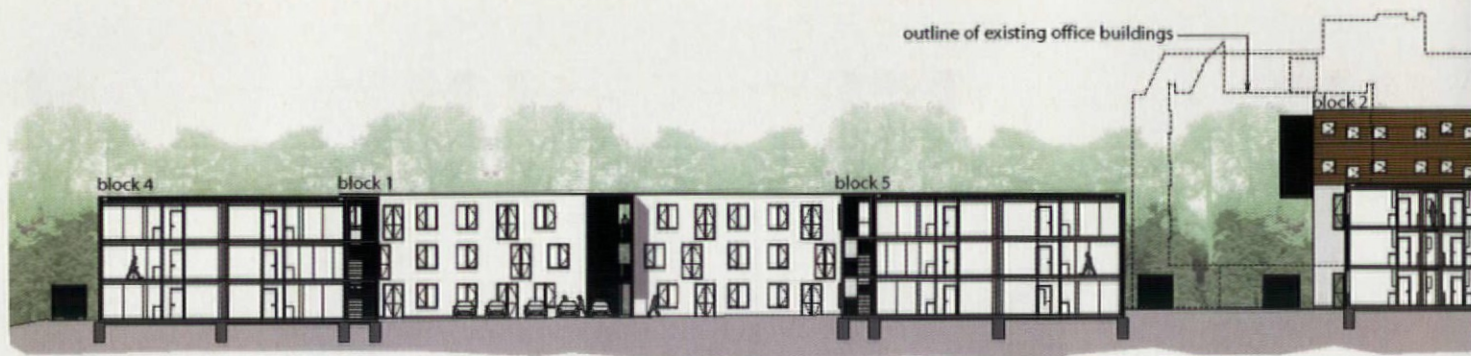
Alan Power Architects

STRUCTURAL ENGINEER

Price & Myers



Bedrooms and kitchen/dining space at lower and upper ground floors free-up top floor volume



Home from the office

A pioneering project of high-density key-worker housing by Hawkins\Brown looks set to make the most of its tight site and budget

by Barrie Evans

These 208 key-worker flats comprise the first major scheme to go ahead (just starting on site) under the Housing Corporation's Challenge Funding Initiative for key-worker housing. The flats are for rent or shared-equity acquisition, a mix of one third one-bed and two thirds two-bed units. Located at Whyteleafe in Surrey, where average house prices approach £1 million, it is one of the most problematic areas nationally

for lower-paid people to find a home. In this scheme the NHS has 70 per cent nomination rights, Tandridge District Council 30 per cent.

The site lies in a valley between the main A22 road and a railway embankment, at the transition between detached houses on one side and offices on the other. It contained offices built between the 1950s and 1970s, but there is a surplus of office space in the

area and these offices had been unoccupied for three to four years. By a roundabout process, the initial commercial developer retains a 0.3ha roadside plot for a budget hotel while Acton Housing Association has become the registered social landlord for the rest. Fortunately, it has been agreed the hotel will have the same external treatment as the houses, rather than being in that style that gives prefabrication a bad name.

A first planning permission had been obtained for converting the offices to 206 flats but it was an ill-fitting use for the buildings. However, this did provide the precedent for a dense, medium-rise use of the site – the council's planning guidelines for residential use pointed to 60 detached houses in such circumstances. And the 'threat' of actually implementing this inappropriate conversion scheme appears to



Even with relatively high density of small units, space between blocks should feel like shared courtyards. Taller blocks back onto railway embankment



have made people more open to the higher-quality new-build scheme Hawkins\Brown is implementing. The architect particularly praised the support from the council's planning officers. In the area generally there was a certain incomprehension about how the other half lives – for example, how the occupants would manage with a car parking ratio as low as one car space per dwelling.

Site layout is much shaped by its immediate surroundings. The railway embankment is in fact more of a railway along a hillside, with dense mature trees higher than the five-storey blocks that will back onto it, facing away from its noise.

The other blocks, of three storeys, are mostly set side-on to road and railway with their noise, opposite faces of these blocks oriented north-east and south-west. With outline dwelling plans double-banked along

spine corridors, only bathrooms will miss out on good outside contact on one of these two orientations.

While this is a dense development of the 1.25ha site, block-spacing is greater than minimum and structured to give some courtyard feel to block grouping. This should be much helped by some of the existing mature trees and the landscaping plan to introduce rare native trees plus bushes and shrubs of the North Downs.

Generally, blocks are to be finished in white insulated render. Five-storey blocks will be reduced in apparent scale by the trees on the hillside behind when seen from within the site, and by their top two storeys being clad in timber boarding.

The whiteness will be relieved both by the landscaping and by coloured render at circulation nodes, faced with a filigree of

horizontally slatted boarding. This will partly reveal the colour by day and be illuminated from behind by the circulation lighting at night. Roofs will be finished in sedum, softening the roofscape prospect for those in the upper floors of the five-storey blocks.

From a tight site and a tight budget, a civilised environment of real quality appears to be emerging.

CREDITS

CLIENT

Acton Housing Association

ARCHITECT

Hawkins\Brown

QUANTITY SURVEYOR

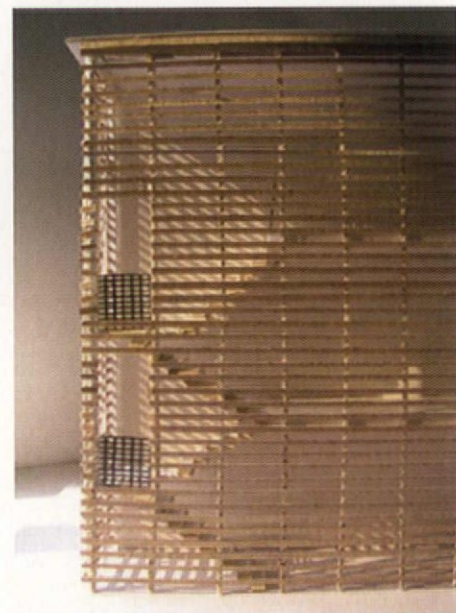
Gleeds

STRUCTURAL ENGINEER

Price & Myers

SERVICES ENGINEER

Cundell Johnston



Not the usual landscape optimism – most of the mature trees already exist. Right: model of planned use of slatted screening at block entrances

Part E time

Robust Standard Details for Part E are now in force. We look at the implications for acoustic performance of new housing

BY AUSTIN WILLIAMS

It has always been the case that robust standard details would be issued to complement the Building Regulations Approved Document E that came into force on 1 July 2003. Up until now, such details that have been available have been 'provisional' but have been deemed to be acceptable for use until the Office of the Deputy Prime Minister got its act together to finalise the real details.

Now, one year after the Approved Document E (2003) came into effect, and six months after the details were

Diagrammatic examples of robust details, courtesy of Robust Details Ltd

The new robust details come into force today and RDL has been set up as the body authorised to permit you, for a not-so-small fee, to use its robust details as a means of complying with Approved Document E. You will be, RDL says, 'investing in constructions that add real value to the building rather than paying test fees.'

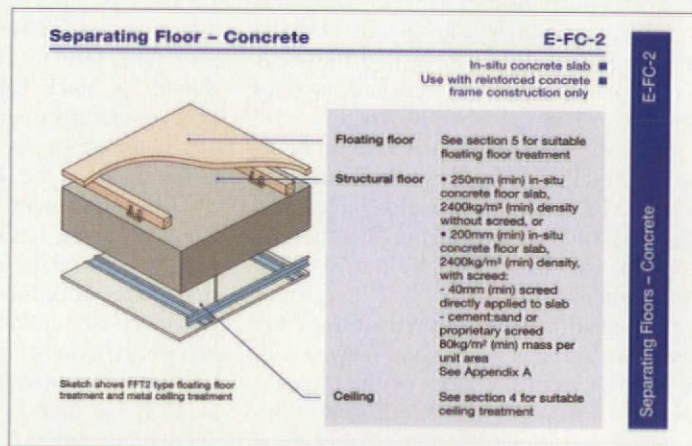
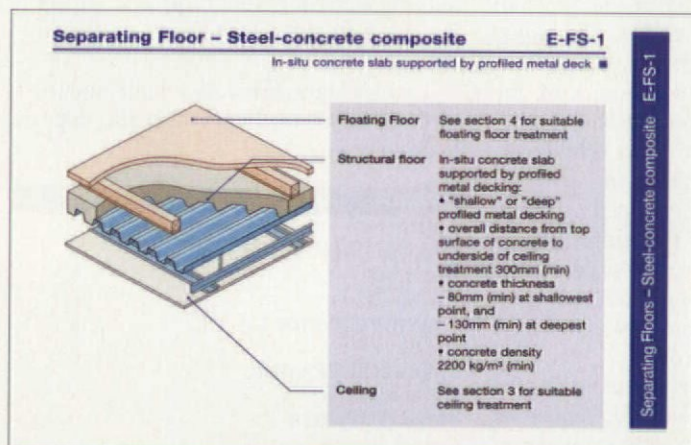
So from now on, if you want to use one of your own details... tough; RDL will not allow it. Or rather, RDL is happy for you to pay for a test and then submit your details together with

and if the on-site workmanship is substandard and the post-completion test fails, there could be a lot of explaining to do.

However, developers will have to pay a fee for the registration, testing and approval of each dwelling under the RDL system, whereas under the pre-completion testing regime, depending on the number of 'types' of dwellings being constructed on a given site, the developer only has to carry out one completion test per construction type 'indicative of the performance of others on the same development.' In some cases, therefore, risks aside, pre-completion might be a cheaper and easier option.

How it works

The requirement to comply with the RDL details relates only to new build



promised, the new and improved Robust Standard Details (RSD) come into force. All new attached dwellings which are started after today (this generally refers to the date of a Building Control submission) will have to comply with the changes.

The new details do not differ greatly from the ones used on the ODPM website but the online versions are now invalid and should not be used'. There is also an entire process of registration and certification that has been added to the legal requirements of robust detail compliance. Thus the recent launch of a new company, Robust Details Ltd (RDL), a spin-off from the House Builders Federation which was originally charged with producing all the robust standard details, has pretty much sewn up the approval system.

the test results (and another fee), so that it can appraise your work. Some manufacturers are adopting this strategy - paying to get their own details registered, tested and approved for incorporation within the RDL collection of acceptable details. It seems as if individuals might need specifically to request the protection of copyright if you do not want the registration and testing of your own details included within the RDL handbook.

If you are determined to try something that is not in the 14 limited details that RDL has drawn up in its launch booklet, and if you have not had your detail tested, you will have to put your neck on the line and go for pre-completion testing, using an accredited monitoring organisation². Pre-completion testing, RDL is delighted to say, is risky and expensive

attached dwellings; flats, terraces, semi-detached houses, etc. If you are building one of these dwellings you must first register the plot with RDL - there are no alternatives - and you will be given registration documentation to show Building Control that you are going down the RSD route. It will be obvious to the building inspectors - depending on whether the requisite registration forms have been lodged with the authority or not - that pre-completion testing will be required. They may pop in to tell blissfully unaware builders of their liability. Third-party agencies will also be empowered to conduct spot checks on building sites to ensure compliance with the submitted details.

On registering, the designer, developer or contractor will state which

applicable robust details will be incorporated within the building. To do that, you must buy a copy of the *Robust Details Handbook* for £65. Registration forms, however, are available on the website. Acceptance of registration is acknowledged by RDL's purchase form, which 'entitles the customer to use the stated robust details as an alternative to pre-completion testing'.

However, even though every effort is made by RDL to ensure that the robust details are compatible with other parts of Building Regulations, most notably Part L (see box), it says that 'it is not always possible to guarantee this'. Learning from the errors of the launch of Part L, RDL has come clean and tried to pre-empt, or side-step, complaints. Further to this, if a robust detail is constructed in accor-

'Given the historic dangers related to Final Certificate liability, any architect thinking of signing this certificate should think carefully'

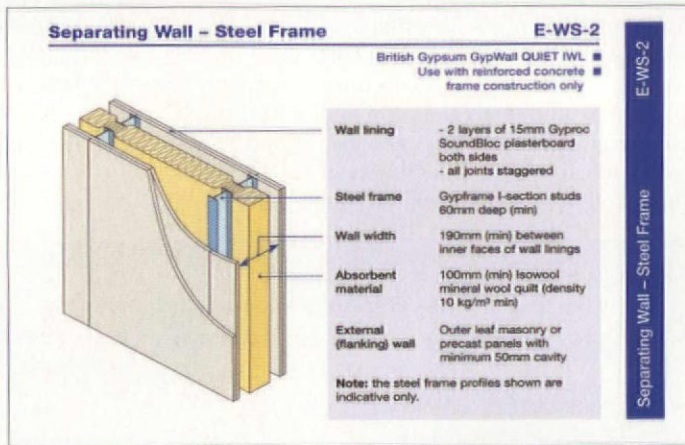
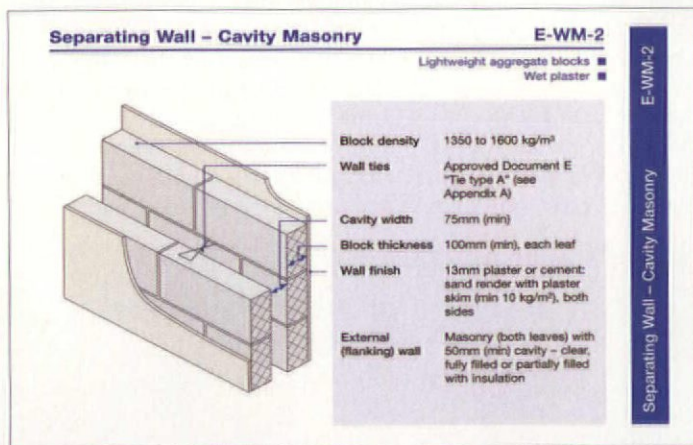
Interim report on Robust Details

The Building Regulations Advisory Committee reported in 2002 (after the Part L Robust Details, but during the production stage of the Part E details) that overlaps between the two should be explored to see how they might be merged. The conflict being that acoustic separation is often successful due to the mass of a structure, and thermal insulation relies generally on lightweight insulation.

However, the latest interim report on Robust Details by the government's Industry Advisory Group (IAG) states 'there is an anomaly in that the Part E details appear to deal better with issues of airtightness than do the Part L details themselves'.

Furthermore, it recognises that the Part E Robust Details are overdesigned (they have 'performance in excess of the regulation requirements even in the worst case tested' and 'there is little doubt the use of the Part E robust details will add some cost to construction over and above that for basic Part E compliance with post-completion testing'). This... is in the order of a 10 per cent increase... The IAG recommends that the overspecification of the details be reinterpreted as the underspecification of the regulations.

Thus we have a situation in which the new regulations, introduced only a year ago with the promise of reinforcing details has resulted in the late details superseding the regulations. Effectively, in some places, the Part E drawings are not even harmonised with the Part E text, let alone the Part L documentation.



dance with the checklist, RDL suggests it might fail spot checks. In this event, it suggests ominously that building control 'would then take reasonable steps to ensure compliance with Part E'. In this regard, the Frequently Asked Questions area of the website reads more like a series of get-out clauses than any constructive assistance.

Don't sign anything

Once on site, you are provided with a checklist related to each of the relevant robust details, which the site manager/supervisor is required to check off, sign and date. It is not the same, say, as signing off dayworks. Signing the checklist is an onerous responsibility and we advise architects to not be drawn in. These checklists are handed into the Building Control to satisfy it that it need not bother

References

- 1 We welcome observations on any discrepancies between the new robust details and those in use on the ODPM website.
- 2 The two testing regimes are The Association of Noise Consultants (www.association-of-noise-consultants.co.uk) or accredited bodies to the United Kingdom Advisory Service such as the BRE Acoustics Centre (www.bre.co.uk)

The Architects' Journal is organising a conference on Part E 'Designing for Compliance: Making Sense of the Revised Sound Regulations,' on 30th September 2004 at the RIBA. The event is sponsored by the Association of Noise Consultants. For more details contact 020 7505 6044.

going on site - as the site is effectively managed for it. More importantly, at the end of the works, there is a duty to sign a Robust Details Compliance Certificate, which states that the construction of the relevant separating elements has been 'properly constructed in accordance with the relevant robust details specification sheet(s) and associated checklist(s). Once again, we advise caution.

Given the historic dangers related to

The UK Timber Frame Association (UKTFA) has produced what it calls, 'a definitive technical guidance document' for designers and specifiers of timber frame systems. It includes robust details and site-tested solutions. For further information email office@timber-frame.org

Final Certificate liability, any architect thinking of signing this certificate, which will be used to grant Building Regulations approvals, should think carefully. In reality, the contractor should sign, but in design-build situations, architects should beware and make clear their responsibilities and their duties at the outset. The next practice meeting of the RIBA will be looking at this aspect of the new regulations and issuing guidance as necessary.

Growing pains

DANIEL BEN-AMI

Growth Fetish

By Clive Hamilton. Pluto Press, 2004. 262pp. £12.99

Growth Fetish is an eloquent restatement of one of the most pervasive and pernicious assumptions underlying contemporary debates on society. Clive Hamilton, an economist and the head of an Australian think tank, believes that the world has developed an unhealthy obsession with economic growth. He argues that beyond a certain point, once the economy has reached a reasonable level of subsistence, striving for affluence can only make everyone miserable.

In a strange way, Hamilton's view of the world parallels that embodied in *The OC*, a popular American television series now showing on Channel 4. In *The OC*, set in Newport Beach in California's Orange County, everyone is stunningly beautiful and fabulously rich. Yet they are also deeply unhappy. The inhabitants of *The OC* live in palatial homes and

drive giant cars but their many maladies include alcohol abuse, gay bashing, shoplifting and suicide attempts. Unsurprisingly, therapists play an important role in helping the characters deal with their troubled personal relationships.

The appeal of *The OC* to viewers – besides the obvious one of watching beautiful people – should be clear. It is possible to covet the luxurious lifestyles of Orange County while simultaneously enjoying the misfortunes of the pampered rich. In an unequal society, it is natural that the majority of us who are not super-rich supermodels get pleasure from watching a portrayal of the troubled lives of the wealthy.

While sneering at affluence may make good television, it is bad politics. Hamilton's book can also be seen as an elitist critique of popular consump-

tion; from burgers to buildings. He derides 'gullible consumers', who he says 'include almost everyone in Western societies'. In his view, 'today's average consumer may be an everyday victim of foolishness and feeble-mindedness in their consumer behaviour'. Such consumers struggle to purchase what he sees as crass consumer goods, such as flat-screen televisions, yet obtaining them does not make people any happier. Presumably only the enlightened ones, such as Hamilton himself, have the inner strength to overcome such primitive cravings. People, like architects, who feed such cravings, are, by definition, morally culpable.

Apart from his distasteful snobbery, Hamilton's world view also embodies a powerful sense of low expectations. He assumes that contemporary society has achieved all it should on a material level. Hamilton does not recognise that the West could benefit from being even more prosperous. The ability to conceive, to develop, to construct, is anathema to him. Architects should consider the dangerous logic of this position. With

Closing the Loop Benchmarks for sustainable buildings

Closing the Loop: Benchmarks for Sustainable Buildings

Sue Roaf. RIBA Enterprises, July 2004.
544pp. £29.95

Soon to be published, this book attempts to provide a more 'holistic approach' to the fragmented development system. It explores carbon emission reduction, performance indicators and sustainable building standards.

Available from www.ribabookshops.com

Engineering Materials Science: Properties, Uses, Degradation, Remediation

Hugh McArthur and Duncan Spalding.
Horwood Publishing, 2004. 577pp. £45

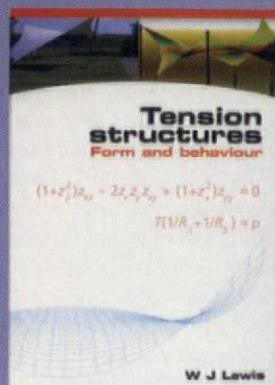
A specialist book, not for the fainthearted, this informative textbook starts with the 'structure of the atom', moves on to the 'kinetic theory equation for a gas' and finishes with 'exothermic and endothermic reactions'. While this might sound a trifle turgid and intimidating – which it is – there is lots of highly useful information contained within this well-indexed tome.

Effectively it brings together lots of European standards and explains them – including timber-strength classes, the fire characteristics of concretes (and the various benefits of fire extinguishers), characteristics and uses of practically all solvents and adhesives, aggregates testing, etc. On the section on water and moisture you can find out what a cloud is, the advantages and disadvantages of hard water, an explanation of surface tension or the nature of efflorescence. It is a fascinating read – or rather, something to dip into – but the presentation reminded me of a 1970s cylcostyled physics textbook.

Tension Structures: Form and Behaviour

Wanda J Lewis. Thomas Telford, 2003.
256pp. £30

This book explores roofing tension structures – from cable trusses to membranes and pre-stressed nets – and examines the computational process of form-finding the shape of the 'structure'. Further examples range from suspension bridges to roof shells and Lewis looks at the most common 'misconceptions' related to their design.



the extra resources that more economic growth could generate, we used to recognise that it would be possible to build far better hospitals, schools and universities. The aged would no longer need to live in desperate poverty and the mass of us could have far more free time to do what we enjoyed. By accepting Hamilton's rejection of such possibilities, he repudiates a central element of human progress.

Of course, the living standards of the poor of the developing world are way below those of the West. For Hamilton they need more growth: 'As long as it is growth of the right sort and not the type that feeds the extravagant lifestyles of crony capitalists and the power of rapacious finance houses.' Despite Hamilton's caricature, the aspiration for the poorer countries should be to raise their living standards to at least those prevalent in the West. The problem of global inequality is not that the developed world is too rich but that the developing world is not nearly wealthy enough.

Hamilton has a point in recognising the prevalent unhappiness in con-

'Despite Hamilton's radical pretensions, he is completely within the contemporary mainstream'

temporary society. Judged by improvements in living standards alone, it is surprising that people are often so miserable. However, Hamilton is wrong to attribute such unhappiness to economic growth. Indeed it is ironic that in this respect he is guilty of the vulgar economic determinism he so readily attributes to others.

For Hamilton's key assumption – that this level of affluence is as good as it gets – itself underlies much of the misery in contemporary society. In effect he is telling people that they should be happy with their lot. Rather than strive to improve their lives, they should exercise self-restraint.

From this perspective, perhaps, the most astonishing of Hamilton's claims is that he is a lone voice warning of the dangers of rampant growth. Before the book even starts he quotes George Bernard Shaw, saying: 'All great truths start as blasphemies.' Hamilton acknowledges that E J Mishan, an economist whose book *The Costs of Economic Growth* was first published in 1967, anticipated some of this arguments. But Hamilton goes on to argue that: 'While doubters such as Mishan

could still find a publisher in the 1960s, the economic and political changes of the 1970s put an end to that.'

Such a claim rightly outraged Geoff Mulgan, the prime minister's head of policy, at the London launch of *Growth Fetish*. Mulgan made the point that during the past 30 years a whole literature of 'growth scepticism' has emerged. He should know because, in addition to his familiarity with the academic work on the subject, New Labour has embodied growth scepticism as a central tenet of its policy. For instance, under Gordon Brown the possibilities of economic boom are always set against the dangers of a bust.

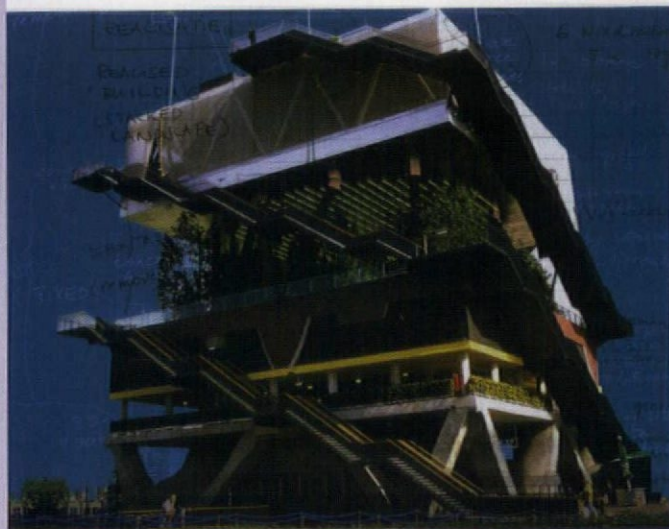
Despite Hamilton's radical pretensions, he is completely within the contemporary mainstream. He is a conservative in the most literal sense of wanting people to be content with what they already have. And he reserves a special contempt for those who purposefully strive to improve their lives. Architects should read this book and remember why they got into the profession in the first place. *Daniel Ben-Ami is an author and journalist*

Conceptual Structural Design: Bridging The Gap Between Architects and Engineers

Olga Larsen and Andy Tyas. Thomas Telford, 2003. 232pp. £25

CONCEPTUAL STRUCTURAL DESIGN: Bridging the gap between architects and engineers

O. Popovic Larsen A. Tyas



One theory and one practical section investigate sources of inspiration for developing architectural structural form. Case studies range from the Chelsea Flower Show Pavilion to the Eden Project. It is presented without mathematical jiggery-pokery to help non-structural readers. This is intended to be an 'inspirational text'... I'll leave it to you to judge.

Advanced Project Management: A Structured Approach (Fourth Edition)

Frederick Harrison and Dennis Lock. Gower, 2004. 315pp. £67.50

Significantly updated since the last edition a decade ago, this contains sections on procurement and the supply chain, quality management, risk management, templates, resource rescheduling, cost and management accounting and fast-track planning.

This book is a no-nonsense guide that benefits from its in-print longevity. It is straightforward, well laid out, but with a slightly egregious American feel to it. Don't be put off by the selling spiel that suggests that you 'generate synergy across project subsystems' or that you can 'learn how to deal with managerial rogues' – this is plainly and simply a handy guide to business discipline.

Greece is the word

The focus on delays to the Olympic stadia has distracted from the architectural and engineering achievements

BY ANDREAS PAPADOPOULOS

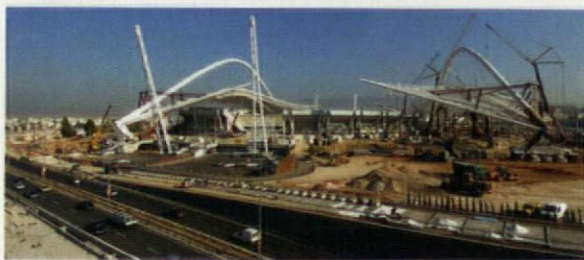


Will they, won't they? The big construction question of the moment is will the Athens Olympic stadia be ready in time for the UK's athletes to be knocked out in the heats. As you can see, it is a tight timescale.

Santiago Calatrava has attempted to turn a decrepit 20-year-old complex of sports buildings in and around Athens into a state-of-the-art venue for the 2004 Olympics. If he succeeds, this could be his greatest triumph and the last time we hear negative comments about Greek construction workers. In any scheme racing to finish, it is primarily the landscaping that will suffer.

A lot of panic about the building has been created in the lay press. The buildings will, to all intents and purposes, be completed. And they will be magnificent. There may be teething troubles but there is hardly an architect in the world with the audacity to withhold Practical Completion.

And the focus on delays ignores the realities of life on site. Originally Calatrava's design for the roof of the main Olympic stadium weighed 13,000 tonnes. But after the earthquake in Athens in 1999, the foundation details had to be modified to take into



Main pic: Calatrava's completed velodrome. **Above: the two halves of the main stadium roof coming together in early June. Above right: Sports Concepts' new arena on the coast**

account the affects of the heat and lava flows on the supporting soil strata. Accordingly, the structure has increased in weight by 5,000 tonnes with consequent implications on its design, testing and construction.

That is all in the past. Now, the two completed halves of the main stadium dome have come together. Standing more than 70m high at their apex, the support 'arches' were constructed in isolation and then each one rolled along 65m of reinforced concrete rails into position. More than a third of the roof's 25,000m² of glazing was installed prior to the move to maximise the overlap in site activities and reduce the programme delays wherever possible. It was a gamble that paid off, because work would have to have been halted if wind speeds had risen

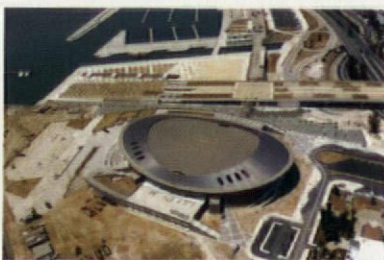
above 8m/second – classified as a 'moderate breeze.' When the roof was in place, 10 days ahead of the deadline set by the International Olympic Committee, the Greek deputy culture minister Fani Palli-Petralia rightly said that 'today we won the first bet'.

Calatrava's 4,000-tonne Velodrome roof was rolled into place more than three months ago to little fanfare. Maybe we just don't like success stories. Meanwhile, specialist architectural practice Sport Concepts, based in London, designed the Taekwondo and Handball Arena in association with local practice TPA.

The 8,000-seat indoor arena is one of the major new facilities. According to Mike Smith, Sport Concepts' design principal: 'The intent was to create a landmark facility that will serve the local community and act as a beacon; attracting the public to the newly developed waterfront.'

Fortunately, none of these schemes has been content to be fêted as one of Britain's lovable heroic failures.

Andreas Papadopoulos is an architect working in Cyprus



East End splash

The London Development Agency has launched a competition to design the Aquatics Centre for the city's 2012 Olympic Games and Paralympic Games bid. The disused site is five minutes from Stratford Station in the Lower Lea Valley, east London. All entries will be judged on whether they are practical to build and whether they can be delivered to budget. The designs will also need to be flexible so that the Centre can accommodate the Olympic Games, future swimming competitions and the needs of local communities. Site clearance will start this summer. Expressions of interest should be lodged by July 5 to aquatic-prequal@capita.co.uk.

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Collateral warranties are just waiting to be awoken

'Has anyone ever successfully sued on a collateral warranty?', leading construction lawyer Ann Minogue recently bewailed in a well-known industry publication. The reason for her complaint was that rounding up warranties from all those involved in a complex project is a time-consuming task. What is the point, she wondered, if nobody bothers with them afterwards.

The need for collateral warranties sprang from the line of cases which culminated with *Murphy v Brentwood* (1991). Before then, the age-old problem, that the ultimate owner or occupier of a building seldom had a contract with those who designed or built it, had been solved by the law of tort. It did not matter that those saddled with a defective building had no contractual claim, because those responsible for the defects owed them a duty of care.

If the defects were attributable to negligent design or construction, the owner or occupier could still recover the cost of repairs. The House of Lords put an end to all that when it decided in *Murphy* that, in general, local authorities, contractors and construction professionals owed no common law duties to the ultimate user.

Needless to say developers did not, overnight, decide that they would hang on to their buildings or do away with the notion of leaseholders' full repairing obligations. Nor were purchasers particularly keen to assume responsibility for all the defects that might be lurking, latently, in their new building. Thus the collateral warranty was born – a contractual arrangement that bridged the gap between a project's original providers and its ultimate consumers.

By the mid 1990s collateral warranties had become the hot topic, with sell-out seminars bringing legal draughtspeople up to date with the myriad ways of protecting the building-users, while not overexposing the building-producers. Since then collateral warranties have become a fact of life, sitting forgotten in filing cabinets across the country. Until the roof starts to leak, that is, when the warranties are pulled out and pored over to see whether they can, indeed, be relied upon.

It is said, no doubt apocryphally, that it takes, about six years for latent defects to manifest themselves. This six-year period coincides with the ordinary limitation period for claims for breach of contract. Since *Murphy*, most contracts for sizeable projects, and their attendant warranties, are executed under seal, and have a 12-year limitation period. Consequently it seems that it now takes about 12 years for a building to fail, as was illustrated neatly by the recent Court of Appeal case of *Northern & Shell plc v John Laing Construction* (16.7.03).

The defendant contractor (JLC) built an office block for a developer in London's Millwall Dock. It was completed in 1989. It was a term of JLC's contract that it would enter into warranties under seal with the purchaser and its successors. In January 1990 JLC duly warranted that it had complied with the terms of the main contract. Eleven-and-a-half years later the building had changed owner and changed name. Furthermore the cladding had failed, with the result that the building was not effectively weatherproof or thermally secure.

In late 2001, the new owner claimed against JLC on the warranty. JLC argued that time started to run from the date of practical completion in May 1989 and that the claim was out of time. The claimant said that time did not start to run until the warranty was entered into in January 1990 and they were in time. They could not, they argued, have a claim before they had a contract.

The Court of Appeal held that it was clear that the parties intended that the warranty should be backdated to the date of practical completion and agreed that the claim was out of time.

The purpose of the warranty was plainly that the claimants should step into the shoes of the employer under the building contract, that had 12 years from practical completion within which to bring a claim. Although the warranty had retrospective effect, it still provided the certainty of the normal limitation period to both the contractor and the warranty holder.

So the answer to the opening lament is: 'They try, Ann, they try.'

Kim Franklin

Time has come to raze a point about spelling...

As editors regularly point out to me, it is pots calling kettles black when I comment on spelling on web sites but I can't resist this one on last week's GreenSpec. One of the actions under the heading 'Demolition' is 'Raise to the ground'. Perhaps they meant 'raze to the ground'?

As hard drives get bigger and bigger – and cheaper and cheaper – that old partitioning application fdisk needs updating, because it does not (in its Win98 incarnation at least) work with drives bigger than around 60Gb. The solution is to download a fix from Microsoft. Go to <http://support.microsoft.com> and enter the knowledgebase article ID 263044 and click on the second item 'Fdisk does not recognize...' etc. Scroll down to your language download and when it is on your computer click on it and after a bit of crunching hey presto, fdisk will report the correct size of 60Gb-plus drives. There is also a fix on the support site for partitioning hard drives larger than 500Gb, but if you have drives that big you probably have a permanent IT person on your staff. Ah, I have just seen a 250Gb drive for just over £100 including VAT, so maybe not.

A final report on Atomic Clock Sync from www.chaossoftware.com. Two months later it is running consistently in line with the talking clock and two seconds faster than AboutTime from www.arachnoid.com/abouttime/index.html. That is good enough for me. Both of them. And Mandrake Linux 10? So far it has been a piece of cake. But although it is supposed to be able to, it could not work out that I had two monitors and two separate video cards. I could get huffy about this, but since the new operating system works seamlessly across the two monitors I am not going to. Meantime I languish forlornly hoping that Open Office will include a wordcount icon on its next incarnation – and enable a considerably faster loading speed than it does now. Acrobat Reader 6 is almost faster. sutherland.lyall@btinternet.com

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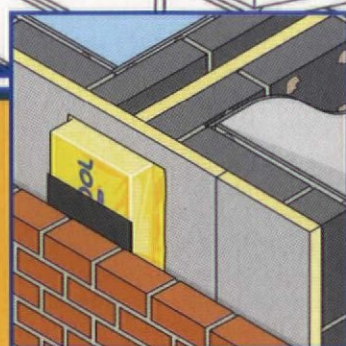


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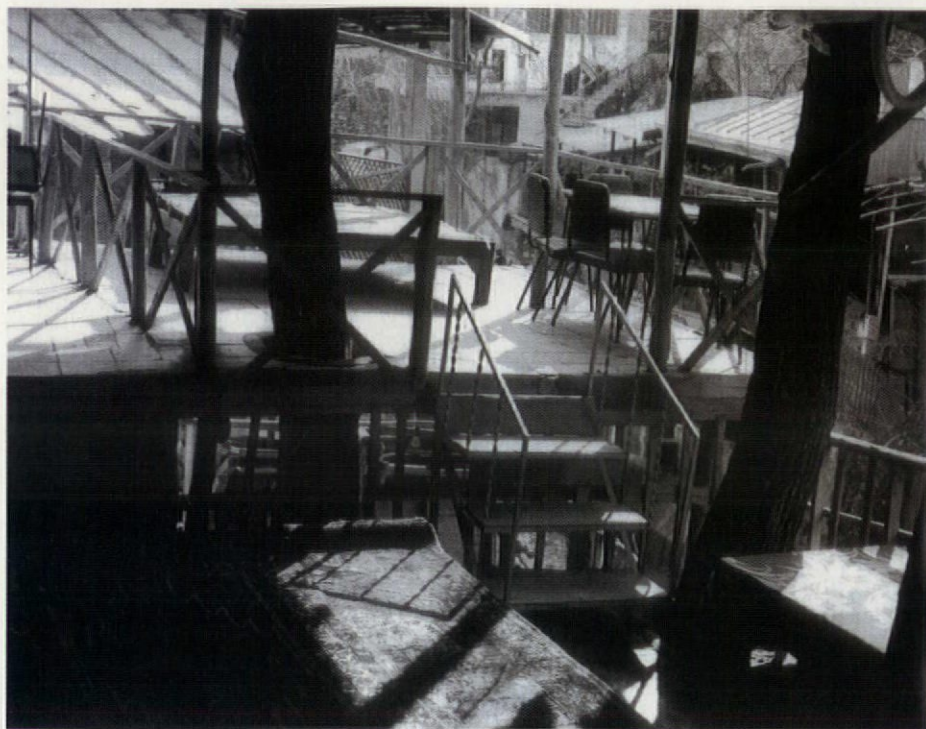
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The photo of the Tehran street which Peter Smithson sent to his client Axel Bruchhauser

Enigma variations

JOHN MCKEAN

Alison and Peter Smithson – From the House of the Future to a House of Today

Edited by Dirk van den Heuvel and Max Risselada. 010 Publishers, 2004. 238 pp. £35

The title and the charming cover of this oddly-formed but seductively produced volume might surprise the innocent browser who opens it. For it is no client's coffee-table volume of dream houses.

Not that the Smithsons ever shunned publicity. The word 'shrinking' does not come to mind, though violets may have covered Peter's shirts. They were expert at regurgitating material – picking it up, turning it over, putting it with (their definition of 'as found'). So that it morphs, reappears once more anew, and then finally, just before Peter's death last year, there it all is again in the vast and pompous *The Charged Void: Architecture*, the first of a three volume, themed, *oeuvre complète*.

Valuable critiques, however, have been far rarer. For the Smithsons are difficult and enigmatic. They might be pretentious and unbelievably boorish; they might be charming, humorous and deeply original. Their work, similarly, could force us, for example, to look at domestic design anew; and it could be Robin Hood Gardens. ('The fussy and drab building conjured up to cope with the [appalling] situation – which it fails to do – shows the error of depending on style to

solve urban planning problems,' as Anthony McIntyre politely commented in 1996.)

They have generated a certain mystique among architects and become the object of the gaze of historians. Yet, as Stephen Greenberg noted with some exasperation when reviewing *Modernism without Rhetoric: Essays on A + P Smithson*, 'someone must tell a new generation why this architecture mattered.' (AJ 19.3.98)

Recently, however, there has been a shift, perhaps beginning with OASE 51 (where Henk Engel and Enric Miralles joined the present authors). This new mood is best seen in the Smithson symposium at the AA before Christmas, the more recent Design Museum exhibition (AJ 22.1.04), and now the book of that show, offering the Smithsons' take on domestic inhabitation.

Their houses (almost all unbuilt) are here lovingly documented, sandwiched between critical introductions, by the editors and Beatriz Colomina, and yet more fragments of Smithson text. This is beautifully produced in the current habit of treating architectural drawings as archival art works, the patina of yellowing Sellotape to be loved as much as the Smithsons' odd typing error.

(Golden Lane and the CIAM 1950 'grilles' look especially gorgeous.)

As to the houses – what a range! Even though Robin Hood is never once mentioned. I still squirm at the House of the Future, with its absurd *Star Trek* and pixie-costumed models looking embarrassed amid its equally absurdly styled gadgetry and surfaces. Colomina's article on this house deals only with styling: there is nothing on how one might possibly inhabit it; what one might do with or within it. 'The Smithsons wanted to offer an alternative to the endless reproduction of detached houses on one (often tiny) lot,' says Risselada. So they proposed these blobs in the centre of tiny plots at 70 to the acre, up and down narrow roads with no off-street parking. Such crude banality as an image of the future 1980s, and this at a time when Europeans such as Utzon, De Carlo and van Eyck were really exploring that domestic alternative!

There are other horrors here, like the Rumble villa scheme with its bizarre central enclosed living space, even more oppressive than the Haus am Horn; their own – built but probably uninhabitable – Upper Lawn, running in condensation, a hermit's lookout in freezing or boiling austerity.

But mainly this volume is rich with fascinating thoughts on ordinariness and 'as found' from the early work, and equally startlingly original architectural ideas towards the end.

And it is through drawings and images here that we learn even more than from the supporting texts. We can closely explore the Sudgen house or the proposed Bates house from half a century ago. We follow the Smithsons' growing concern with the glut of domestic belongings from the 'two ganties' house (1977) to Peter's 'put-away house' with its wonderful configuration around storage (1993-2000). And we can see the last accretions which slowly created Axel Bruchhauser's 'Hexenhaus', within the theme which Peter Smithson called 'conglomerate ordering'.

The image in the architect's mind is illuminated by a photograph he sent to his client two years ago, showing a street in Tehran. 'Somehow this picture has the "content" of the new spaces at the Hexenhaus,' he wrote. This warm and humane, complex and most subtly ordinary picture sums up that art of inhabitation which only Peter Smithson could evoke.

John McKean is a professor at Brighton School of Architecture

Dutch diversity

NEIL PARKYN

Living in the Lowlands: The Dutch Domestic Scene 1850-2004

NAI Publishers, 2004. 240pp. £26

With memorable exceptions, what we take to be the core of Dutch architecture is domestic, an environment which the editors of this volume describe as 'the collective lived reality inhabited every day by its residents'. Just how varied the forms that this environment can take could hardly be better presented than by this selection of housing projects drawn from the archives of the Netherlands Architecture Institute in Rotterdam.

In telling the story, NAI Director Aaron Betsky and Head of Collections Mariet Willinge have selected 15 characteristic schemes which demonstrate this diversity, ranging from WM Dudok's seemingly municipal housing in Hilversum to the wilder extremes of design in the Ypenburg neighbourhood near the Hague, where West 8 and MVRDV among others have been at work.

Visionary ideas sit alongside the practical world of well-wrought housing schemes. Uniquely among European nations, the Netherlands has been under perennial pressure to make best use of limited space: hence, urban visions at the grandest of scales are well represented here, including OMA's provocative proposals for settlement of the agro-industry zones and the megastructure accommodating 350,000 people envisaged by the Bakema and Klopma Pampus expansion

plan for Amsterdam of 1964-65.

In contrast to such a hard-edged hypothesis, we are shown the scraps of butter paper on which Aldo van Eyck and Theo Bosch pencilled their first thoughts on the basic design principles for the regeneration of Amsterdam's Nieuwmarkt Quarter, where Bosch designed the Pentagon residential complex (1975-83), a building he described as having a 'distinctive, but smiling face'.

A side benefit of this approach is that it points up the telling adjacencies and contrasts encountered everywhere in Dutch domestic architecture. Those used to the familiar images of the stripped, streamlined forms of J J P Oud's Kiefhoek housing in Rotterdam (1925-1930) will be surprised by the contemporary aerial view showing the scheme in its context, with pitched-roofed public housing from earlier in the century as its neighbour.

Conceived by the architect as the building equivalent of a mass production car, Kiefhoek can now be seen as an ingenious and skilful solution to creating a civilised neighbourhood of some 300 homes at no more than two storeys, with the sketches published here revealing Oud's great interest in cresting an urban composition with well-defined private space which also achieved village-like intimacy.

In the examples presented, what is notable is a process of evolution from the post-war reconstruction models of urbanism, in which new neighbourhoods were routinely assembled by repetition of standard modules or clusters of mixed-rise housing – such as the Pendrecht district of Rotterdam or Delft's Voorhof – through to a more responsive approach, where the masterplan celebrates the specific features and geometry of the existing landscape but combines it with bold interventions. This is exemplified by the work of landscape architect Riek Bakker at Prinsensland near Rotterdam, within which Mecanoo Architects then fragmented and recomposed standard housing types.

One of the most fascinating aspects to readers on this side of the Channel is the account of the evolution of the two new cities of the Flevopolder, Lelystad (begun in 1959) and Almere (from 1978). While the former has followed a conventional zoned structure, Almere has flourished under a more flexible and open-ended masterplan offering a wide choice of lifestyles and evolving into what NAI curator JaapJan Berg describes as the leading laboratory for Dutch domestic architecture in the past 25 years; notably with a series of experimental neighbourhoods, including live-work homes by Hertzberger and 'multi-phase' houses by Koolhaas.

And there are echoes of the glory days of Milton Keynes, perhaps, in the Projectbureau Almere, the young planning team who set the framework for the new city.

Neil Parkyn is an architect, town planner and director of Huntingdon Associates



Waiting for the End of the World

By Richard Ross. Princeton Architectural Press, 2004. 144pp. £12.50

Before the end of the Cold War, this was the nuclear shelter for a factory in St Petersburg – now, after a little makeover, it's 'The Trendy Griboyedov Club' (pictured left). Richard Ross's photographic survey of these subterranean hideouts isn't systematic: Cold War provision predominates, but there are pictures too of Second World War shelters in London, of 1930s tunnels beneath the Chinese village of Jiaozhuanghu – made for the Sino-Japanese War but now a tourist attraction – and of caves in Cappadocia where early Christians hid from Roman armies.

The Cold War shelters range from the clinical or palpably malign to the incongruously cosy (armchairs, bookshelves, a rustic timber ceiling). Strange to think how hush-hush they were so recently: now a sign on the A128 points to a 'Secret Nuclear Bunker'.

Male voice choir

DAVID MORLEY

The Buildings of Wales: Pembrokeshire

By Thomas Lloyd, Julian Orbach and Robert Scourfield. Yale University Press, 2004. £29.95



If Pevsner discovered Englishness through his series of architectural guides *The Buildings of England*, are Thomas Lloyd, Julian Orbach and Robert Scourfield discovering Welshness in *The Buildings of Wales*?

This is the fourth volume in the emerging series that will eventually cover all of Wales. It follows the established Pevsner format but, as with other recent editions, the longer introductions make these books more than a simple point of reference. Pembrokeshire is really three books in one. First, the 98-page introduction provides a comprehensive background to the context and architecture of the county from prehistoric times to the present. Second, the building descriptions provide an astonishingly comprehensive guide. Third, the glossaries are in themselves a compact dictionary of architecture, mixing the standard Pevsner glossary with some helpful notes that explain the meaning of Welsh place names.

For a county of such outstanding natural beauty, it seems entirely appropriate that the introduction begins by describing the landscape. An emerging theme is that landscape, geology and climate have had a powerful influence on Pembrokeshire's buildings. Climate change is discussed as a key factor in

determining prehistoric settlement patterns, and the need to minimise climate change is a unifying factor for the very small selection of notable recent buildings that are illustrated.

The complex geology is responsible for a variety of local building stones. Some are too porous to resist the damp climate, hence the abundance of roughcast and render. Some are too hard to be intricately carved, hence a more simple approach to detail.

The introduction covers many revealing facts about Pembrokeshire: nowhere in the county is more than 10 miles from the sea; John Nash was the only 'pure' architect practising west of Swansea in 1780 after his retreat from London to escape his bankrupt past; the great iron roofs covering the shipyards at Pembroke Dock were built by the engineers of the Crystal Palace. Sadly, many architectural highlights describe what might have been or is no more – the roofs at Pembroke Dock are gone and John Nash's opportunities were restricted. Pevsner's incisive critical style emerges where the authors' lament Nash's lack of involvement in the planning of the new town at Milford: 'He would surely have traced out something of more flourish than the simple grid plan that proceeded.'

The building descriptions reveal an astonishing breadth and depth of research. A curious circular garden in the middle of a country lane on the approach to Castelmartin has been revealed as a former stone-built pound of 1780 for stray animals (creating one of the first roundabouts in the county). Nearby, the most-westerly great landscape garden in Wales is illustrated as the setting for the former Palladian villa Stackpole Court, believed to be by Colen Campbell, but tragically demolished in 1963. Drawings of the scheme show a calm simplicity and help explain the stunning landscape that remains.

Tenby is a particular focus for superlative descriptions. Augustus John is quoted as finding that 'you may travel the world over, but you will find nothing more beautiful'. Here we are also told that the Greek inscription from Euripides on Cockerell's 1810 sea-water bath-house translates as 'The sea cleanses all men's pollution' – a poignant reminder of close links with nature.

Nearly 50 pages are devoted to the tiny city of St David's, as the cathedral is considered to be the most important religious building in Wales. By contrast, the evolution of the emerging new building type for non-conformist chapels is a fascinating case study in designing from first principles.

The drawn illustrations combine archive material and helpful diagrams within the body of the text. Colour and black-and-white photographs are successfully grouped together to minimise any interruption to the flow of text, and their variable quality can perhaps be excused by the informative selection, including two contrasting houses by James Gowan and Future Systems.

In addition to the three authors of Pembrokeshire there are four contributors, and so it is inevitable that the presentation is more complex than in Pevsner's more individual original guides. For example, the development of Milford's town plan is covered three times from different viewpoints. The product is therefore not a solo performance, but more like a chorus by a well-trained choir.

This sense of singularity of purpose and communal effort perhaps also defines an emerging sense of Welshness. No individual architects or builders emerge as a dominant force in the buildings of Pembrokeshire. The abundance of delightful structures is always set off against the greater forces of environment and landscape. This is encapsulated neatly in the jacket illustrations that show Carew Castle and the exquisite Caerfarchell nonconformist chapel (pictured), neither of which has an attributed architect.

David Morley is an architect in London

London

Saving Wotton: The Remarkable Story of a Soane Country House 2 July-25 September.

An exhibition at the Soane Museum, 13 Lincoln's Inn Fields, WC2. details 020 7440 4246.

P G Wodehouse's Guide to Cancer Friday 2 July. By Katherine Vaughan-Williams (formerly Shonfield) at the Riverside Studios, Hammersmith. Details 020 8237 1111.

Archigram Until 4 July. An exhibition at the Design Museum, Shad Thames, SE1. Details 0870 833 9955.

The Work of Powell and Moya Monday 5 July, 18.30. An RA discussion at the Geological Society, Piccadilly, W1. Tickets 020 7300 5839.

Sir Peter Hall Wednesday 7 July, 18.00. A UDG lecture at The Gallery, 77 Cowcross St, EC1 (020 7250 0892).

AA Projects Review 12-30 July. At the Architectural Association, 36 Bedford Sq, WC1. Details 020 7887 4000

Dennis Gilbert and Jon May 16 July-11 September. Architectural photographs at Photofusion, 17a Electric Lane, SW9 (020 7738 5774).

New Sculptures by Anthony Caro Until 25 July. At Kenwood House, Hampstead. Details 020 8348 1286.

A13: A Multi-Disciplinary Exhibition on an Urban Archetype Until 25 July. At the Wapping Project, Wapping Wall, E1. Details www.architecture foundation.org.uk

Perrault's New Mariinsky Theatre, St Petersburg Until 28 August. An exhibition at the Building Centre, 26 Store St, WC1. Details 020 7692 6209.

Housing Design Awards 2004 Until 3 September. An exhibition at RIBA, 66 Portland Place, W1. Details 020 7580 5533.

Fratelli Alinari: The Changing Face of Italy 1855-1935 Until 19 September. A photographic exhibition at the Estorick Collection, 39a Canonbury Sq, N1. Details 020 7704 9522.

East

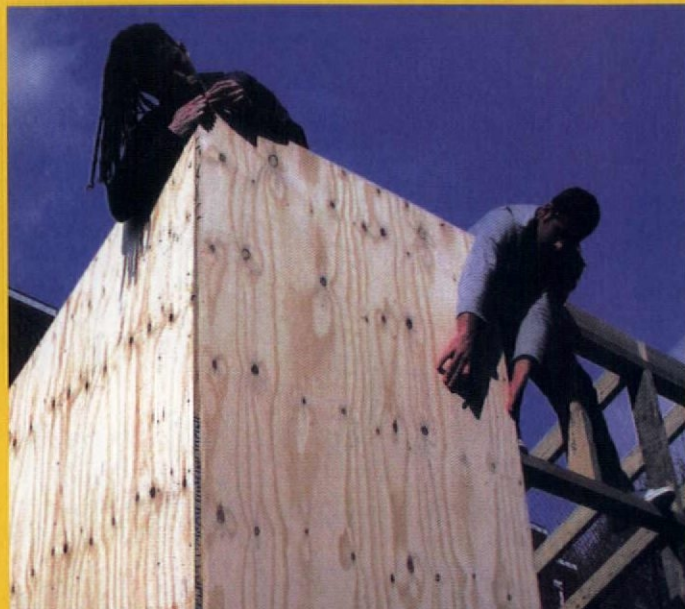
Ian McKeever Until 4 July. An exhibition of paintings and drawings at Kettle's Yard, Castle St, Cambridge. Details 01223 352124.

Brick in Eastern England Saturday 10 July. A one-day conference at Cressing Temple, Essex. Details Pauline Hudspeth 01245 437672.

Landscape and Historic Buildings Thursday 19 August. A one-day conservation seminar at Cressing Temple, Essex. Details Pauline Hudspeth 01245 437672.

East Midlands

RIBA CPD Event: Urban Design Primer Wednesday 21 July, 14.00. At the



ANNUAL REPORTS

The students above, who are working on a project at a primary school in Southwold, are from London Metropolitan University, whose end-of-year show is at Spring House, 40-44 Holloway Road, London N7 until 8 July. (Details www.londonmet.ac.uk/architecture). Other student shows in the capital include the Bartlett's, until 2 July, and the AA's, opening on 12 July.

National Water Sports Centre, Nottingham. Details 0115 941 3650.

Hooked on Books: The Library of Sir John Soane Until 30 August. An exhibition at the Lakeside Arts Centre, University Park, Nottingham. Details 0115 846 7777.

North

Fantasy Architecture Until 3 July. An exhibition at the Northern Gallery for Contemporary Art, City Library, Sunderland. Details 0191 514 1235.

RIBA CPD Event: Town Planning Update Thursday 15 July, 10.00-13.00. At the County Cricket Club, Durham. Details 0191 232 4436.

Archigram 31 July-31 October. An exhibition curated by the Design Museum and designed by Archigram. At Baltic, Gateshead. Details 0191 478 1810.

North West

RIBA CPD Event: Conservation and Repair of Timber Wednesday 14 July, 10.00-13.00. At the Civic Centre, Knutsford. Details 0151 703 0107.

Charlie Hussey Thursday 15 July, 19.30. A lecture at the Grosvenor Museum, Grosvenor St, Chester. Details Mark Kyffin 0161 236 5667.

Blasting the Future: Vorticism in Britain 1910-1920 Until 25 July. An exhibition at the Whitworth Art Gallery, Oxford Rd, Manchester. Details 0161 275 7450.

Rhineland: Art from Cologne

Until 22 August. An exhibition at Tate Liverpool, Albert Dock, Liverpool. Details 0151 702 7400.

CUBE Retrospective 1998-2004

Until 26 August. An exhibition at CUBE, 113 Portland St, Manchester. Details 0161 237 5525.

South

Mike Nelson Until 4 July. An architectural installation at Modern Art Oxford, 30 Pembroke St, Oxford. Details 01865 722733.

South East

Canterbury School of Architecture Show Until 3 July. An exhibition at Ashford Library Gallery, Ashford. Details 01227 817333.

Wessex

Westonbirt Festival of the Garden 2004 Throughout the summer. At the National Arboretum, Tetbury. Details www.festivalofthegarden.com
William Pye/Edmund de Waal Until 5 September. Exhibitions at the New Art Centre, Roche Court, East Winterslow, Salisbury. Details 01980 862244.

West Midlands

Architecture, Folklore & Mythology Tuesday 6 July, 18.30. A lecture by David Heke at the Victoria Hall, Hanley, Stoke-on-Trent. Details

Patrick Redmond 01583 373477.

RIBA CPD Event: Boundary Issues Thursday 22 July, 14.00. At the Apollo Hotel, Edgbaston, Birmingham. Details 0121 233 2321.

Yorkshire

RIBA CPD Event: The New Production Information Code Tuesday 20 July. At Wakefield Town Hall. Details 0113 245 6250.

With Hidden Noise Until 8 August.

An exhibition at the Henry Moore Institute, 74 the Headrow, Leeds. Details 0113 234 3158.

Lime Week 4-7 October. A conservation studies course at the University of York. Details www.york.ac.uk/dpts/arch/
Wolfgang Winter + Berthold Hörbelt Until 31 October. 'Crate houses' etc at the Yorkshire Sculpture Park, Bretton Hall, near Wakefield (01924 832631).

Scotland

City as Loft 12 July-12 September.

At The Lighthouse, 11 Mitchell Lane, Glasgow. Details 0141 221 6362.

Strathclyde Architecture Show Until 15 July. At 131 Rottenrow, Glasgow. Details 0141 548 3023.

Langlands & Bell at Mount Stuart Until 26 September. An installation in William Burges' chapel. Details www.mountstuartart.com

Wales

RSAW Small Practice Surgery: North Wales Practice Forum Tuesday 6 July, 17.00. At OptIC, St Asaph Business Park. Details 029 2087 4753.

RSAW Small Practice Surgery: Update & Discussion on SFA & Client Guide Wednesday 7 July, 12.30. At the WDA offices, Newtown. Details 029 2087 4753.

RSAW Small Practice Surgery: Keeping out of Trouble Monday 12 July, 16.00. With Owen Luder at the National Botanic Garden of Wales. Details 029 2087 4753.

International

Content: Rem Koolhaas - OMA - AMO Until 29 August. An exhibition at the Kunsthal, Rotterdam. Details www.kunsthal.nl

Jørn Utzon Until 29 August. An exhibition at the Louisiana Museum, Humelbaek, near Copenhagen. Details www.louisiana.dk

Lausanne Jardins 2004 Until 17 October. Various temporary gardens in and around Lausanne. Details www.lausannejardins.ch

Information for inclusion should be sent to Andrew Mead at The Architects' Journal at least two weeks before publication.

people & practices

Hoare Lea Consulting Engineers has announced that **Nick Cullen**, who joined the company in 1987 as a graduate engineer, has become a partner.

Terence O'Rourke has appointed **Karen Heard** as a graphic designer and **Daniel Bailey** as an assistant graphic designer.

Elliott Wood Partnership has moved to 241 The Broadway, Wimbledon, London SW19 1SD.

Lorna Byrne has been appointed an associate at **Church Lukas Architects**.

Warrington Fire Research Consultants has appointed **Jon Pagan** and **Steven Cooper** as directors in response to its continued international growth.

Mainspring Marketing & PR is moving offices to Unit M, The Brewery, Bells Yew Green, Tunbridge Wells, Kent TN3 9BD.

Georgia Elliot-Smith has joined **CRASH** – the construction and property industry charity for the homeless – as a trustee and executive committee member.

Martin Moore of Prudential Property Investment Managers has assumed the presidency of the **British Property Federation** for the next year. He takes over from David Hunter, chief executive of Arlington Property Investors UK. **Ian Coull** of Slough Estates is vice-president.

● Send details of changes and appointments to Anna Robertson, *The Architects' Journal*, 151 Rosebery Avenue, London EC1R 4GB, or email anna.robertson@emap.com.

Harvey Smith Recruitment
Tel: 0121 454 1100
E: natalie@harvey-smith.co.uk
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Award Winning Practice seeks Exceptional Post Part II Students

We are a young, lively, friendly firm of over 50 staff operating in attractive studios in West London. We are looking for similar team players to become part of our busy practice.

Assael is expanding and we are looking for bright and ambitious people who have been best in their year, studied A-Level Art and have a sound knowledge of Vectorworks.

We actively support Part II students including paying fees (approx £1,200) and are looking for people who can start immediately.

Starting salary £22,000.

If you think you fit the description please send in your CV.

Simone Wilkins Studio 13 50 Carnwath Road London SW6 3EG Fax: 0207 736 6677 Email: wilkins@assael.co.uk
www.assael.co.uk

Just Architecture

Tel: 020 7735 2999

Fax: 020 7735 7999

E-mail: register@justarchitecture.com

PERMANENT VACANCIES

Project Architects, London – to £40K

Due to recent competition successes, our world-renowned client seeks applications from career minded individuals who would like to work on an exciting range of PFI Healthcare projects. You will have 5 yrs+ post part III experience and be a hands-on, AutoCAD proficient, project leader. Healthcare experience is desirable, but not essential. Ref: 10035

Project Architect, London – to £36K

This large, award winning commercial practice, seeks a Project Architect to work closely with the Associate Director in charge of a large-scale 'City' office development. An excellent all-rounder, you will have a minimum of 5 yrs post part III experience and have a proven track record playing a lead role on high profile commercial projects. Ref: 10142

Recently Qualified Architect, London – to £33K

This dynamic and highly respected AJ 100 practice, seeks applications from talented and ambitious individuals wishing to work on an exciting range of commercial projects. You will have both technical and front-end design skills, coupled with the ambition and desire to succeed in a fast-moving environment. AutoCAD literacy is essential. Ref: 10143

Job Runners, SW London – to £36K

Fancy working on projects for the rich and famous? Our client, a leader in its field, seeks applications from individuals wishing to work on multi-million one-off houses of the highest quality. With at least 2 yrs residential and job-running experience, you will also have sound technical knowledge and be AutoCAD literate. A fantastic career opportunity! Ref: 10111

Architects & Project Architects, London – to £36K

This design conscious, AJ 100 practice, seeks applications from the up-and-coming stars of the industry! Dependent on experience, you will be working in or leading design teams responsible for an exciting range of large-scale Hospitality & Leisure projects. A good range of skills and CAD literacy is essential for these positions. Ref: 10086

CONTRACT VACANCIES

Senior Technician, London – to £22ph
Residential and commercial projects – AutoCAD.
Ref: 10151

Senior Technician, London – to £22ph
Multi-million office development – AutoCAD.
Ref: 10105

Mid-Weight Technician, London – to £20ph
Retail fit-out projects – AutoCAD/Microstation.
Ref: 10109

Architect x 2, London – to £18ph
Retail & entertainment projects – AutoCAD.
Ref: 10152

Mid-Weight Technician x 2, London – to £18ph
Retail & entertainment projects – AutoCAD.
Ref: 10153

Architectural Assistant, London – to £16ph
Large-scale shopping centre project – AutoCAD.
Ref: 10110

Mid-Weight Technician, Berkshire – to £18ph
A range of commercial projects – AutoCAD.
Ref: 10051

Senior Technician, Hertfordshire – to £22ph
High-density residential projects – AutoCAD.
Ref: 10154

For more vacancies please visit www.justarchitecture.com

ARCHITECTON

Enthusiastic architect required to work on a variety of projects, including historic buildings.

Commitment to design and ability to work as part of a team are vital qualities.

Part 2 or up to 5 year's experience.

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Bristol BS1 6JJ

t 0117 910 5200 f 0117 926 0221
e info@architecton.co.uk



Building Management Services

ARCHITECTURAL TECHNICIAN

Required to work in a busy small design and build office. The applicant will be responsible for preparation of sketch designs, detailed construction drawings and attending design site and client meetings.

The applicant must be proficient in AutoCAD and have a minimum of 10 years experience in the construction industry with experience in all aspects of commercial/industrial/retail type buildings.

Salary will be commensurate with experience and benefits include company car, pension scheme and private health plan after a qualification period.

Please reply in the first instance giving details of full CV including previous experience and employment to Building Management Services Limited, Huddersfield Road, Elland, West Yorkshire, HX5 9BW

pubs!

We have won national and regional awards for our new build and refurbishment pub projects and are looking for an

Architect and a Technician

to help our small practice with an exciting range of mainly pub projects in the Manchester area.

Salary: up to 30k depending on experience
Please write with CV to

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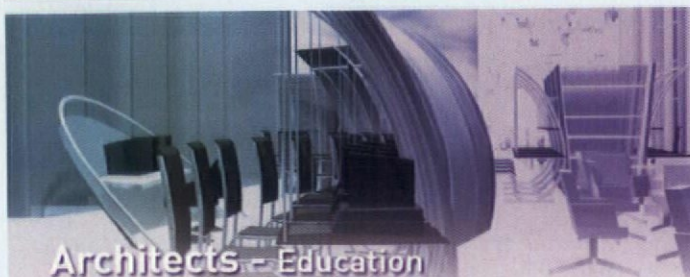
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ALTRINCHAM WA14 2ES
For more details phone Mike Bower
0161 927 9533 or
Email: mail@bowerdesign.co.uk

Recruitment enquiries
 Charlie Connor
 Tel: 020 7505 6737
 Email: charlie.connor@emap.com

Laurie Shenoda
 Tel: 0207 505 6803
 Email: laurie.shenoda@emap.com

Deadlines
 Bookings/copy 5pm Monday
 Artwork 12 noon Tuesday
 Cancellations 12pm Monday

Recruitment advertisements in the AJ can be found on our internet recruitment service
www.careersinconstruction.com



Architects - Education

We have exciting opportunities for qualified architects who have experience in school design, ideally both secondary and primary. AMEC already has an established track record in the education sector. However, it is seeking to appoint a senior architect who will take the lead on several multi-disciplinary projects.

You will have:

- A thorough knowledge of the DFES standards and guidelines
- The ability to translate schedules of accommodation into design proposals which meet academic requirements as well as other design criteria
- Experience in taking at least 2 or 3 secondary schools from inception to detailed design
- Excellent design skills
- Sound organisational and presentation skills
- Experience of working within a PFI project environment will be useful but not essential
- A good knowledge of AUTOCAD
- Capacity to manage staff and motivate teams

We can promise opportunities to exercise your design and leadership skills. You will be working in, or leading, multi-disciplinary design teams on a wide range of design projects from £1million to multi-million pounds in value. You will also have the opportunity to exert your design influence on projects across other sectors.

Please send a current CV and work examples to:

Peter Trebilcock, Head of Architecture
 Email: peter.trebilcock@amec.com



www.amec.com



Senior Architect

Landmark is a small friendly multidisciplinary practice located in the historic town of Ludlow. We are looking for a highly motivated Architect with drive and ambition. In exchange we offer a great living working environment, negotiable salary / equity package, and the chance to realise your ambitions.

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admin@landmark-consultants.co.uk
 Tel 01584 879757
 Fax 01584 879997



Project Manager (fixed term)

Salary £30,000 - £35,000 depending on experience

Luton Carnival Arts Development Trust seeks to appoint a Project Manager to manage the development of a £6million new purpose built centre for Carnival Arts in the Luton's Town Centre. The key function of this post is to develop the internal mechanisms and external partnerships needed to augment a centre for carnival arts.

This is an exciting and innovative project in England seeking to position its self as a carnival arts educational centre of excellence designed to attract carnival designers, Mas Bands, individual artists, Steel Bands, cultural groups and associations, schools, youth and community groups from across the globe.

For a full Project brief and job description please contact Paul Anderson, Director of Luton Carnival Arts Development Trust, C/O The Hat Factory, 65 - 67 Bute Street, Luton, LU1 2EY, email lcad@tiscali.co.uk or visit www.Lutoncarnival.co.uk

Deadline for applicants 30th July 2004

The Centre for Carnival arts is supported by the National Lottery, through Arts Council England, Luton Borough Council, Luton Dunstable Partnership and Go - East

www.aps-recruitment.co.uk



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Architect & Technician - Northampton - Perm - £23-30K

This private practice is currently seeking additional staff due to continued growth and expansion. Working predominantly within the commercial and industrial sectors they are seeking candidates that are keen to grow the business not just within these sectors but within the residential sector. You will therefore be experienced in one of the above sectors, demonstrating good detailing skills and for the architects role job running experience is also required. AutoCAD skill is required along with a professional honest approach.

Senior Architectural Technician - Kettering - Perm - up to £30K

This small but busy rural practice based outside of Kettering is seeking staff to support its continuing growth in the local market. Established now for over 30 years they are seeking staff who are committed to a long term future with them, rather than fly by nights. You will therefore be able to demonstrate a solid career history, have experience within a number of sectors including residential and be able to produce and detail working drawings to a high standard. Job running experience on small projects would also be an advantage.

Architectural Technician - Woodbridge - Perm - £23-28K

A leading housing developer is seeking an architectural technician / technologist to complement an existing team. With good design and technical skills you will be able to demonstrate good communication skills as your main role will be the alteration of detailed / construction drawings to client requirements. If you are keen to make a mark within a large organisation this is the job for you.

Architect / Technician - Ipswich - Perm - £25-30K+

This large Construction Group with a number of offices in East Anglia is seeking 2 new members of staff to join their architectural department based in Ipswich. You will be keen to work on varying projects in all sectors having previous all round sector experience. Job running skills are required by the architect with the technical post requiring AutoCAD and detailing skills.

Architectural Graduates - UK Wide - £12-18K+

Due to the time of year a number of our main clients are seeking graduates for Pt1 / Pt 2 positions. If you are of high calibre, are prepared to re-locate for the right position and have attended a RIBA accredited University please visit our website and contact us ASAP.

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ARCHITECTURAL



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Architect Central London £to 33K

This well-established practice has recently enjoyed major success, and as a result are looking to strengthen their team with the appointment of a qualified architect. You will have excellent Autocad skills, and great all round ability, with loads of energy and drive. Retail experience preferred but not essential. Generous salary and benefits.

Project Architect Central London £to 40K

Challenging role for an experienced, fully qualified architect. The practice is much-published and well-regarded with a number of cutting edge projects. You will be an inspirational team leader, have great client liaison skills, and a practical hands-on approach. Autocad fluency is essential, and ambition and energy are imperative. Excellent benefits package.

Cad Technician West London £to 35K

Experienced cad technician with at least 5 years experience required by busy, friendly practice. Working on a £35m residential project, you will be required to produce working drawing and detailed packages on Autocad. Ideally you will be HNC/ONC qualified and be looking for a long-term career move. Excellent prospects.

We have ongoing requirements for a range of staff, from Project Architects to Cad Technologists. To discuss your options in the strictest confidence, please contact:

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swinchester@quayarchitecture.co.uk

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competitions & awards

Details are available from the RIBA Competitions Office, 6 Melbourne Street, Leeds LS2 7PS, tel 0113 234 1335, fax 0113 246 0744, email riba.competitions@mail.riba.org

UIA STUDENT COMPETITION

The International Union of Architects is launching the UIA 2005 Istanbul student competition. Based on the theme 'creating space in extreme and extraordinary conditions', the competition invites entrants to exercise their creative powers in the face of challenging conditions by designing spaces for different functions chosen by them in places which are extraordinary in terms of geographic location, topography, flora, climate, social, economic and political conditions. Further information will be available from 1 September at www.uia2005istanbul.org. The deadline for entries is March 2005.

MAKE OLYMPIC SPLASH WITH LDA

The London Development Agency (LDA) has launched a competition to design the Aquatics Centre for the London 2012 Olympic Games and Paralympic Games bid. The flagship swimming facility is to be built on a disused site in the Lower Lea Valley, east London. Designers and architectural practices wishing to enter the competition should email aquaticprequal@capita.co.uk. Closing date is 5 July.

TRANSFORM CENTRAL SALFORD

Salford is launching an international architecture and design competition to design a vision and blueprint to transform central Salford during the next 20 years. Part of the transformation will include mixed-tenure housing, schools, safe and inspiring open spaces and leisure facilities, retail shops and better transportation. Expressions of interest to be received by 16 July. A competition brief can be obtained by emailing Colette Hilton at colette.hilton@salford.gov.uk.

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Dislikes: Peanut butter
WLTm: Decision makers



Structural Engineer

Age: 33
Starsign: Taurus
Likes: F1
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Architect & Technician - Norwich - Perm - £25-35K

This large commercial practice is currently seeking staff for its Norwich branch office. This practice having worked in a number of sectors is ideally seeking all round staff. To be considered you will be experienced in a number of sectors including residential, retail, education and health. A good knowledge of UK construction practice is required along with job running experience in respect to the architect's role. AutoCAD literacy is also required particularly for the technical role. This is a very good opportunity for an ambitious hard working individual.

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Ambitious practice with a small friendly team of talented and enthusiastic individuals seeks like minded individuals for fun, friendship and evenings out.....

You will need a minimum of 3-5 years post qualification experience, with good design and project management skills. Experience in Health, Education, Housing and Regeneration would be preferred.

AutoCAD experience essential, Architectural Desktop 2005 and 3D computer design skills an advantage.

Please write/email enclosing your CV to Andrew Hardy. Please no agencies

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THE CONSTRUCTION CAREERS EVENT 2004
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The above companies will all be exhibiting at the Construction Careers Event 2004, held this year in London and Manchester.

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Charlie Connor

The Construction Careers Event

020 7505 6737

charlie.connor@emap.com

To register your interest in visiting the event please email your details to:
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Right now, we're looking to strengthen our Government Services division. This team oversees one of the largest public sector property portfolios in the country, working with Local Authorities and a range of other clients including, schools, police and fire authorities, magistrates courts, government agencies and private companies.

Our portfolio currently stands at around 2,000 schools and 4,000 public buildings, and counting, as we are expecting a major increase in our schools design and management workload resulting from the 'Building Schools for the Future' investment programme.

Join us and you'll be playing a part in helping our clients to preserve the value of that property and use it to its best effect. As our company continues to grow, we're looking for experienced professionals in all of the following roles: **Building Surveyors, Estates Surveyors, Quantity Surveyors, Project Managers, Architects, Architectural Technicians, Maintenance Engineers, Estates Management, Building Services Engineers.**

We've got vacancies nationwide, but we're particularly looking to strengthen our local office teams in Bedford, Cambridge, Hertford, Maidstone, Salford, Sidcup, Trowbridge and Woking.

To apply for any of these roles, please send a copy of your CV together with a covering letter quoting reference **GSAJ00503** and which role you are interested in, to careers@mouchelparkman.com Alternatively, post to Recruitment, Mouchel Parkman, 5th Floor, Cunard Building, Liverpool L3 1ES.

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PROJECT ARCHITECT (TYNE & WEAR) £30K - £33K + CAR

As a project architect you will already have 3-5 years experience managing a small team and running your own projects, our clients have exciting opportunities to further your development and fulfil your potential.

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Specialising in retail and leisure, your current portfolio will include front end development and design of high value projects. If you are looking to further your development through a diverse and challenging career with a regional market leader, this opportunity is for you.

ARCHITECT/ARCHITECTURAL TECHNICIAN (TYNE) £30K +

This small practise based North of Newcastle is looking to supplement it's in house team with an experienced design professional who will eventually succeed the practise partner. Project management skills essential.

ARCHITECTURAL TECHNICIAN (TYNE) £22K - £34K

Our client, a multi disciplinary practice, has a number of opportunities at an intermediate to senior level. Educational and Industrial project experience is desirable, however not essential.

NUMEROUS TEMPORARY & CONTRACT POSITIONS AVAILABLE

Please call for a confidential and informed discussion about any of the above vacancies and also to discuss the numerous unadvertised opportunities we have to offer.

Call **Carl Ribchester** in confidence on: **(0191) 4972797** or **07870553027** at any time or email carl@cdmresourcing.com.

Alternatively email your CV to or fax on: **(0191) 4972884**.



Birmingham Vacancy

Technicians

Vac ref 0406-61

Perm or Contract £ Neg

My client is seeking contract and permanent staff for a variety of projects in both the Commercial and Residential sectors which will be commencing in immediately. Applicants at all levels will be considered, although a sound knowledge of the Building Regulations and a knowledge of Autocad is a pre-requisite.

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Architectural Technician

up to £35k DOE

The principle function of this role is to support the product development department in the development and design of new construction systems using a combination of group and partner products. You will be developing designs and preparing plans, specifications, estimates and manage all facets of the construction and architectural detail. Providing guidance and assistance to consultants and in-house staff in all aspects relating to regulatory compliance in relation to Building Codes. HNC in Building, Membership of BIAT or equivalent is preferred.

The ideal candidate should possess experience in AutoCAD Part 1 & 2, Architectural Desktop, Archcad 2D & 3D cad, Building Regulations Approved Documents, NHBC standards, CDM Regulations, NBS Specification, FINC, ADT21 and Keyscape.

Applications should be made to Scott Sullivan at technical@network-rec.co.uk or to Network Recruitment, Technical Division, Kennett House, 108-110 London Road, Headington, Oxford. OX3 9AW

Foster and Partners architects and designers

Architects

Ambitious and talented qualified architects with a variety of experience are required to work on a range of exciting projects based in our London office.

Applicants should be CAD proficient and preferably have a working knowledge of Microstation.

Only applicants who meet the above criteria will be considered for these positions.

Applicants with fluency in a European language, in addition to English, are encouraged to apply.

If you would like to apply for one of these positions, please forward your CV and representative samples of your work (no larger than A4) to:

Robin Panrucker
Training and Recruitment Co-ordinator
Foster and Partners, Riverside Three
22 Hester Road, London SW11 4AN

Website: www.fosterandpartners.com

Please quote reference AJ002 when applying for this vacancy.

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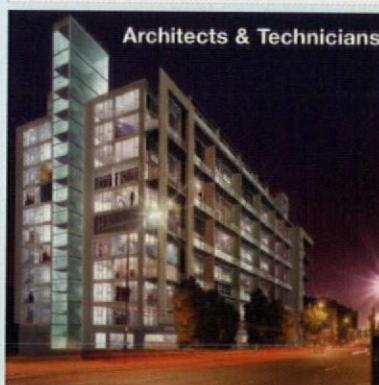
Architects: with a minimum of five years post-graduate experience who are quality designers, understand materials and construction and all forms of procurement, building contracts and regulations.

Architectural Technicians: to produce quality working drawings, and precise specification to enhance designs to meet programmes and assist managing projects on site.

Conservation Architect / Surveyor: who understands all forms of historic buildings and construction can produce conservation plans and condition survey reports and manage several restoration adaptations, regeneration and refurbishment projects.

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Talented design focused team players are required to work on a variety of exciting inner city regeneration projects based in our Nottingham office

Please send your C.V. with examples of your work to:

John Morris
LMP, The Atrium, 20 Wollaton Street,
Nottingham, NG1 5FW
Tel: 0115 983 8080
Fax: 0115 983 8081
www.lacemarketproperties.co.uk

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Please send CV and examples of work to:

Michele Goodwin
Patel Taylor Architects
53 Rawston Street,
London EC1V 7NQ

Recruitment enquiries

Charlie Connor
Tel: 020 7505 6737
Email: charlie.connor@emap.com

Laurie Shenoda
Tel: 0207 505 6803
Email: laurie.shenoda@emap.com

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You should be flexible, organised, and have extensive experience of the construction industry. Good computer skills would be a benefit. Hours of work 10 to 20 per week to suit, either office or home based, a suitable reward package will be mutually agreed.

Please apply in writing giving full details of your industry experience to The HR Manager, SAS International, 31 Suttons Business Park, London Road, Reading RG6 1AZ, or email cthomas@sasint.co.uk

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MANCHESTER

Ref:ATC040629A

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Our clients are industry leaders in contemporary commercial design, and work across a vast array of building types. They are in the throws of arranging a team around an exciting landmark project and have appointed us to identify a confident project leader, with experience of running jobs in excess of £25m. The individual will be very well supported by excellent systems and admin back up and a strong management team. The position offers strong career opportunities, with the company encouraging the individual to succeed. So if you have been working on relatively large schemes and would now like to focus on establishing a career amidst a dynamic setting, call me in the strictest confidence, Tamsyn.

LONDON

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Senior/Project Architect – Hertfordshire – to £32k per annum

Our client is urgently seeking Senior/Project Architects to co-ordinate a large scale educational project. The right candidate will have a minimum of 10 years experience of running projects. Well developed managerial, design, technical and AutoCAD skills are essential. Ref AR7

Architectural Technician – Hampshire – to £30k per annum

This small practice is looking for an experienced Architectural Technician to work on residential projects. The ideal candidate will be competent at working drawings on AutoCAD and should have a strong understanding of UK Building Regulations. Ref AR7

Architectural Technicians x3 – Mayfair – to £22/hr

This successful Mayfair practice urgently requires experienced Architectural Technicians with sound construction knowledge and strong AutoCAD skills. Experience of retail and/or residential projects is essential for this 6 month contract. Ref AR2

Architect – SW London – to £33k per annum

Vectorworks architectural practice urgently seek recently qualified Architects with 18mths-2 yrs PP3 experience to work on a variety of projects. Our client is ideally looking for candidates with exposure to large scale projects and proficient Vectorworks abilities. Ref AR3

Assistant Architect – London – to £25k per annum

Our client is actively looking for a recently qualified part 2 RIBA architect educated in the UK with good technical knowledge including AutoCAD, 3D Studio & Forms z. In return our client offers a friendly, young office environment with a career opportunity for the right candidate. Ref AR3

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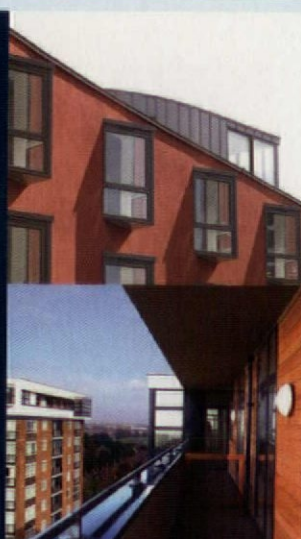
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Architect/Senior Architect

P01/3 - £24,048 - £29,835 p.a. (Pay award pending)
(Ref: 9189)

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The above post represents an opportunity to join a busy design consultancy serving the Salford City Council and external clients as it moves forward into Constructor Partnering as the Council's main vehicle for construction procurement.

The post holder will join this consultancy as an Architect or Senior Architect taking a leading role in the design of a number of major projects. The applicant will be a registered Architect with at least three years' post registration experience and of proven design ability whose design work shows flair and originality. The applicant will be highly client focused and have highly developed organisational, leadership and CAD skills. In addition, they will also require proven communication and presentation skills.

The Development Services Directorate is pursuing a Joint Venture Partnership for provision of services. Staff will be seconded to the Joint Venture, remaining employees of Salford City Council.

The Joint Venture will create both additional capacity and opportunities for future business growth for the partners, providing innovative working arrangements and improving performance against key national and local indicators.

The City Council aim to have the new Joint Venture in place by September 2004.

Information pack and application form from

the Director of Personnel & Performance, Salford City Council, Civic Centre, Chorley Road, Swinton M27 5BN or our Customer Contact Centre. Tel: 0161 909 6503 (24 hours). Minicom: 0161 909 6527 (special line for the hearing/speech impaired). Please quote reference number at all times.

Closing date: 9 July 2004.

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Architect - Bath

We have a vacancy for a Part II Graduate and a Part III Architect with up to five years experience in Bath. If you have excellent design skills and CAD experience, preferably using Microstation, then we would like to hear from you.

Please apply in writing, with CV and examples of recent work, to:

Chris Askew, Feilden Clegg Bradley Architects LLP,

Bath Brewery, Toll Bridge Road, Bath BA1 7DE

www.feildenclegg.com

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Quality, accuracy and good project management skills are critical. Knowledge of Quark, In-design, Illustrator and Photoshop would be hugely beneficial. The position is based at BRE in Watford.

Send your CV and a covering letter to Stuart Mead, BRE Bookshop, Garston, Watford WD25 9XX, email stuart.mead@emap.com or call for an informal chat on 01923 664652.

Closing date is Monday 28 June.



architecture. engineering. planning.



CUH2A, an award winning architectural practice with its European office located in London and headquarters in Princeton, NJ, USA, has an immediate requirement for the following positions, both of which are strategically important for the expansion of the office to support its international client base.

Senior Project Manager

Responsible for the architectural design of projects, typically with complex and technically demanding requirements. Good conceptual and technical design skills are a must. The role will involve working closely with CUH2A's Director of Design to develop design proposals and to lead teams. The candidate must be a good communicator and presenter. Minimum of 10 years experience.

Senior Project Design Manager

Responsible for the management of project resources. The role requires a highly professional, supportive manager, possessing good communication skills and the ability to develop client relationships. The candidate should have experience of complex projects, ideally of a scientific nature. Minimum of 15 years experience.

Reply with your full CV by the 11th June 2004 to Jackie Darby, CUH2A Europe Inc, 15th Floor, Centrepont, 103 New Oxford Street, London WC1A 1DD.

www.cuh2a.com



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Email: charlie.connor@emap.com

Laurie Shenoda
Tel: 0207 505 6803
Email: laurie.shenoda@emap.com

Deadlines

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Artwork 12 noon Tuesday
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TENDERS

EXPRESSIONS OF INTEREST

Feasibility Study and Concept Designs for Sustainable Office Development, Forthside, Stirling

Stirling Council invites expressions of interest from suitably qualified and experienced design teams to produce a Feasibility Study and Concept Designs for 120,000 square feet of new sustainable business space. The design, construction and ongoing operation of this new office development will embody sustainable development principles throughout.

The successful applicant will comprise an architect led multi-disciplinary team incorporating mechanical and electrical, structural and civil engineers with an established track record of delivering sustainable development of this nature.

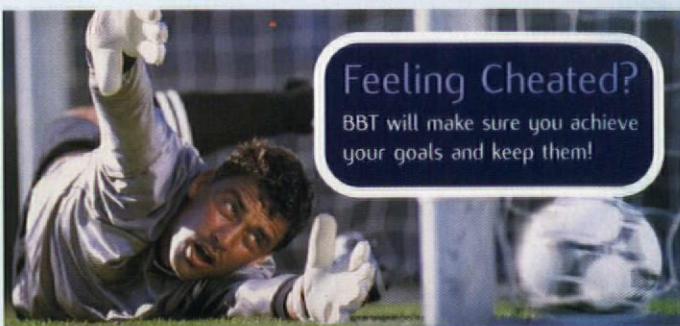
The work instructed under the commission shall include but not be limited to the following:

- A Feasibility Study demonstrating the commercial viability of the proposed office development.
- Evaluation of the benefits of a sustainable design approach which ensures that the office development will be environmentally responsible and embody the principles of resource efficiency and low cost maintenance.
- Provision of Concept Designs which demonstrate a modern, practical and fully accessible development which encourages productive working in a stimulating and healthy environment commensurate with the 21st century business process.

If you wish to be considered for the tender list please request a briefing pack from Tom Pollock, Stirling Ventures, Regeneration Services, Viewforth, Stirling FK8 2ET, tel: 01786 442748, email: pollockt@stirling.gov.uk by Friday, 9 July 2004.

The short listed applicants invited to bid for this commission will be selected on the basis of a submission outlined in the briefing pack issued to all applicants responding to this notice. It is anticipated that the short list shall not exceed five.

Closing date for return of completed submissions:
Friday, 23 July 2004



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Kirsty Grant t. +971 (0) 4 390 0375 e. kgrant@bbtltd.com Ref: RIBA210604

Architectural Technicians

£27,000 - £30,000 - Central London/Hertfordshire

Architectural Technicians urgently required to work on residential projects. You must have 5 years' experience of preparation of construction drawings and be able to work with minimum supervision. A good knowledge of AutoCAD is essential. We are only looking for the best and most committed candidates to further drive the practice forward. Both contract and permanent staff will be considered.

Rachel Gordon t. 020 8603 1818 e. rgordon@bbt.co.uk Ref: AK0107

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E-mail: fiona@ccar.co.uk

Acquisition / Merger

Oxfordshire Architects practice with established client base predominantly education and housing seeks enquiries from other practices regarding acquisition or merger.

Main shareholder wishes to retire by the end of 2005.

All enquiries to Po. Box
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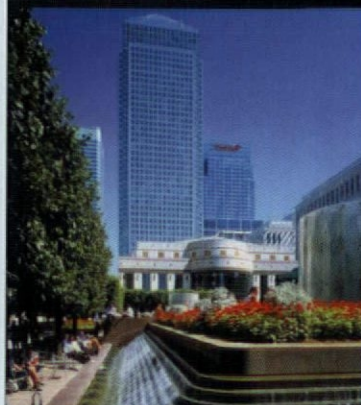
AJ ENQUIRY NO: 301



A new sports floodlight designed for where the control of light pollution is critical is now available from Thorn Lighting. Champion is an asymmetric floodlight available in 1 and 2kW ratings for metal halide and high pressure sodium lamps. Instead of having a 'flat glass' construction Champion's front glass closure is inclined inside the floodlight.

CLAXTON BLINDS

AJ ENQUIRY NO: 302



Claxton Blinds claims to be one of the leading commercial window blind companies in the UK, specialising in providing interior window treatments for any requirement. Notable projects undertaken to date are Tower 42, The Canary Wharf Tower, and most recently, Citigroup Tower at Canary Wharf, with Claxton providing more than 16,000 blinds throughout the three buildings. For more information, telephone 01727 840 001 or visit www.claxton-blinds.com

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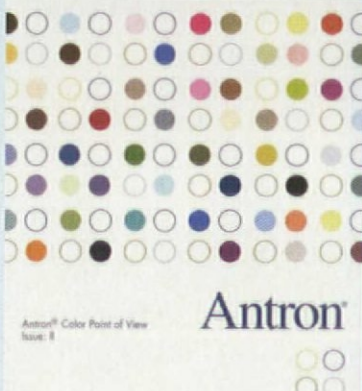
AJ ENQUIRY NO: 303



Zip Heaters have added Chilltower to its range of mains fed water chillers. A compact free-standing point-of-use filtered water cooler suited to any office environment. The chiller uses mains water supply, giving it big savings over bottled water units. It has a filtration system specified to 5 microns, which delivers cleaner, fresher, better tasting drinking water.

ANTRON

AJ ENQUIRY NO: 304



INVISTA, formerly DuPont Textiles & Interiors (DTI), launches the Antron Carpet Fibre Colour forecasts for 2005. A comprehensive range of 50 colours are presented under the banner Antron Colour Point of View and are augmented with the Antron colourist's influences and inspiration. The 5 colours in each of the 10 themes highlight a distinct trend.

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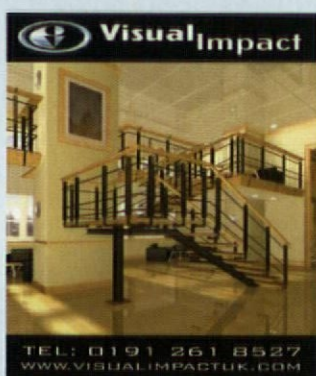
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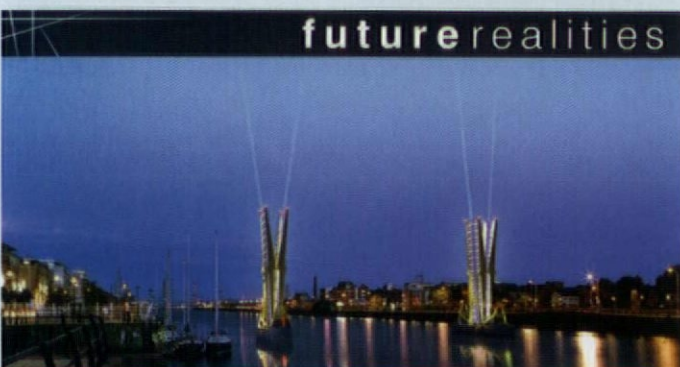
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1 July 2004

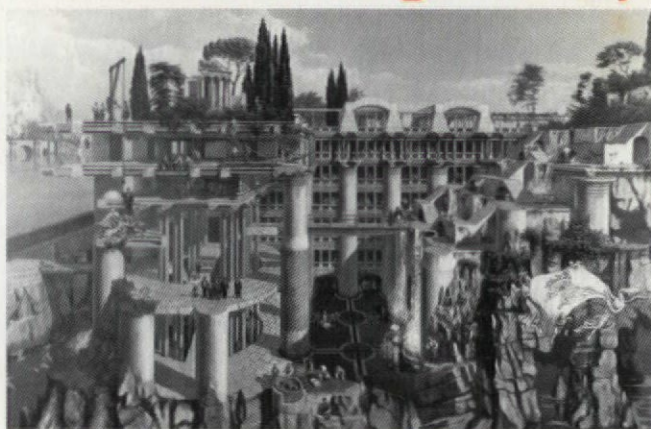
Welcome home

The imminent appointment by the RIBA Trust of **Charles Knevitt** as its new director brings back into the architectural fold someone with inside knowledge of the institute and the profession at large. Knevitt was for some years architectural correspondent of *The Times*, and was a leading figure in the community architecture campaign of the 1980s, along with **Nick Wates** and (for a time) Rod Hackney. Indeed, it was an article by Knevitt about Hackney's Macclesfield housing scheme at Black Road where the phrase 'community architecture' was given its first public airing. The two had a falling out over the Inner City Aid charity, chaired by **Lord Scarman** but eventually dissolved. Knevitt's career moved on to publishing and marketing, and more recently professional fund-raising, most latterly bringing in huge amounts for Liverpool University. This experience should stand him in good stead at the trust, which has little spare cash, although staff and accommodation costs are being met by the RIBA. Let's hope Knevitt keeps his reputation for bonhomie intact; his 50th birthday party at the Chelsea Arts Club, with music from the excellent Bootleg Beatles, was memorable. He is also a member of the Athenaeum; the difference between the two clubs is that the latter throws you out if they catch you with a woman. In Chelsea, if they catch you without, they send one up.

Moving on

Memories of the community architecture years were stirred at the London Architecture Biennale, which hosted a Radio 3 debate on whether the Prince of Wales had been good for architecture. Marking 20 years since the Prince's notorious speech at Hampton Court, the motion supporting him was proposed by the urbane **Jules Lubbock** and the RIBA president **George Ferguson**. It was opposed by a feisty **Amanda Levene** (who managed to drag herself back from Portugal, where

the ones that got away



Astragal's 'The Ones That Got Away' competition features schemes that, for better or worse, stayed on the drawing board. Can you identify this project and its architect? Post your entry, to arrive by first thing Monday morning, to AJ Astragal, 151 Rosebery Avenue, London EC1R 4GB, or fax 020 7505 6701. The first correct entry out of the hat wins a bottle of champagne. Last week's winner (AJ 24.6.04) was Riitta Sinkkonen Davies of Haverfordwest. The never-built scheme was Antonio Sant'Elia's study for a metropolitan church.

she had been to see the England/Portugal quarter-final), and critic **Hugh Pearman**, on brutally good form as he launched a regicidal blast at the Prince's record. Most of the audience, including ABK's **Peter Ahrends**, voted against the idea that the Prince had been a good thing. It would have been good to hear critic **Jeremy Melvin's** view that the Prince sees architecture as an aspect of the Picturesque, which is about control and manipulation of what is seen, while appearing natural. Thus the Prince's declarations about architecture are really a cipher for his loss of control in other areas of his life.

Gehl force

Let's hear it for the **Central London Partnership**, the public/private group headed by **Patricia Brown**, which launched its report by Jan Gehl on public realm policies for the capital at a glittering event in Paddington Basin a fortnight ago. The report was a reminder that the future planning of London is not just about the Thames Gateway but about the way in which the environment affects millions of Londoners every day – and could be better. The sort of opportunities we need to seize were well illustrated this week by

Sir Terry Farrell, who formally launched his 'Nash Ramblas' project, to develop a walking route from Primrose Hill to St James's Park, Trafalgar Square, and across to the South Bank. We need more initiatives like these, preferably with some overarching (but light-touch) vision for how London could be...

Young ones

Being described as 'up and coming' is not always a great boon. But it makes for good headlines, as the *Observer* proved last Sunday with its list of younger people who are going to have a big impact in the next 20 years. On the architectural front, **Foreign Office Architects** gets the nod, though there was also a place for designer **Thomas Heatherwick**. The last time the paper did this was in 1979. Then the nominated architect was **Nick Lacey**, still doing great designs and looking for the really major project to crown his career. Perhaps it will be his Thames island scheme, if he can get the Port of London Authority to call off its dogs.

Bird song

Critics come and critics go, but the departure of the *New York Times'*

architecture guru **Herbert Muschamp** (ex-AA, incidentally) has sparked plenty of comment, much of it as bitchy as the criticism Muschamp dished out. The *New York Observer* carried a long piece about Muschamp's rise and rise – and his subsequent fall from grace in the row over Daniel Libeskind's 9/11 competition win: 'Why, given the precipitous decline in his critical stature, did *The Times* keep him on for so long?' Herbert's enduring existence is one of the great urban legends," says one person active in architectural circles. "It's one of the great mysteries of New York, along with why you never see baby pigeons."

Mies piece

If you fancy swapping your cramped office for a swanky suite in central Manhattan, you could do much worse than **Mies van der Rohe's** Seagram Building. Estate agent RFR Realty is offering whole floors for rent in the 375 Park Avenue skyscraper. A large advert for the 38-storey masterpiece towered out of the back page of the *Financial Times* on Friday. It looks even classier in pink...

Cut price

According to a profile of ex-CABE chief **Jon Rouse** in *The Times*, he negotiated his salary down when he moved to his new role as chief executive of the Housing Corporation. The job paid £160,000 a year but he took £125,000 on the grounds that he did not need any more. Canonisation can surely only be a matter of time!

If only

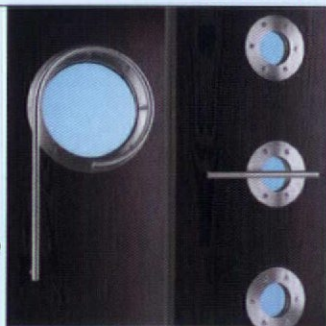
Did you hear about the trio of architect, contractor and quantity surveyor who won the rollover **Lotto** on a joint ticket? Asked what they would do, the quantity surveyor said he would invest the money, retire, and live off the income. The contractor said he would buy his wife lots of jewellery, invest in a hotel and never work again. The architect said he would stay in practice 'until the money runs out'.

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PHILIP WATTS

AJ ENQUIRY NO: 201

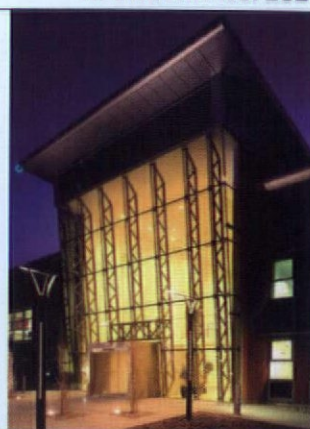
Philip Watts Design now manufactures more than 60 different porthole kits for doors, ranging from signage panels to high-specification fire-rated stainless steel. All its kits come with glazing and are remarkably simple to install. Illustrated are two of its porthole/pull handle integrated kits; both can be fire rated to 60 minutes and are available in either satin or bright polish. For further details, visit the new online catalogue at www.philipwattsdesign.com.



HANSENGROUP

AJ ENQUIRY NO: 202

The Newcastle HQ of the North East Regional Development Agency, One North East, features high-performance ThermoSpan glazing units manufactured by HansenGlass. The double-glazed units feature both hard and soft coated glass and have a U-value close to 1.0W/m²K. HansenGlass also supplied Tempo glass entrance doors. For details of HansenGlass products call 0151 545 3000 or email sales@hansenglass.co.uk.



AME FACADES

AJ ENQUIRY NO: 203

Scott, Brownrigg & Turner Architects specified Ame's Proteus hr composite rainscreen system with duo-tone blue/red aluminium front skins. Duo-tone is a dynamic finish, changing colour depending on the position of the sun. The project, a new-build residential scheme at Chelsea Bridge Wharf, south London, demonstrates the combination of precise panel edge detail, flexibility in panel size and a striking finish achieving a modern and dramatic facade.



KALWALL PROJECT OF THE WEEK

AJ ENQUIRY NO: 204

This shot of blue sky and clouds is designed to bring happiness to AJ readers, though some may be more interested in St Christopher's School new sports hall. Here, E&M Design Partnership has specified clerestory Kalwall so the interior is perfect for games – as sporty people will know, that means evenly distributed light without any shadows, glare or hotspots. Stoakes Systems now has a large portfolio of school and sports projects featuring Kalwall. Tel 020 8660 7667 or visit www.stoakes.co.uk.



TDP

AJ ENQUIRY NO: 205

Plantex is the original weed control fabric from DuPont and used by professional landscapers throughout the world. Highly versatile, it can be used to provide low, maintenance and non-chemical weed control. For decorative finishes such as timber decking, paving, gravel, bark and cobbles, Plantex will allow air and water to pass through, enabling growth of specimen plants while minimising unwanted weeds and self-seeding plants. Contact TDP for your nearest stockist or visit www.tdp.com.



SIKA

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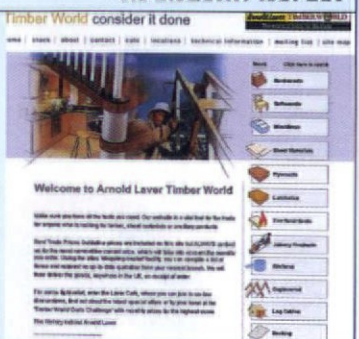
The Trocal and VW Golf brands share a common bond: Trocal roofing systems are being installed on VW dealerships in the UK. The latest is a roof refurbishment for the dealership in Avondale Road in Bromley, Kent. Trocal S 1.5mm single-ply roofing membranes from market leader Sika were specified to waterproof a 200m² flat-roofed extension at the dealership.



ARNOLD LAVER

AJ ENQUIRY NO: 207

Arnold Laver Timber World has recently relaunched its website – www.timberworld.co.uk – a quick and easy-to-navigate site which encompasses a new modern look and feel, reflecting Timber World's off-line branding. Contemporarily designed, incorporating Timber World's sharp new look – the website is now administered using a fully content-managed engine, so information can be updated immediately without third-party assistance.



DORMA

AJ ENQUIRY NO: 208

As one of the world's leading suppliers of automatic door technology, the Dorma range is so comprehensive that standard solutions can be found for the most demanding situations – and the RST automatic space-saving and KTV revolving door ranges are certainly cases in point. Powered by the ever-reliable ED 200 swing door operator, the leaves of the Dorma RST space-saving door are designed to perform a unique confined swivel movement.



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